

ADDENDUM NO. TWO (2)

The Construction Drawings and/or Project Manual for the above project are amended in the following particulars and in these particulars only. All provisions of the original drawings and/or specifications shall remain in force, except as specifically modified or changed herein or by other Addenda issued by the Architect. This Addendum is hereby made part of the Contract Documents. Be sure to note Addenda on Acknowledgment on Bid Proposal Forms.

GENERAL PROJECT INFORMATION:

RESPONSES TO QUESTIONS RECEIVED DURING BIDDING:

PROJECT MANUAL/SPECIFICATIONS/CLARIFICATIONS (PM):

Item No. PM-1: SECTION 00 31 00 – BID PROPOSAL FORM :
Replace Section 00 31 00 – Bid Proposal Form with revised form dated 7/2/2020 attached.
Revisions include addition of unit price items and include Alternate #1 – Replace Existing Windows with New Vinyl Windows.

DRAWINGS:

Item No. D-1: Sheet A2.00 BUILDING TYPE ONE ELEVATIONS and A2.01 BUILDING TYPE TWO ELEVATIONS:
All new Vinyl Windows to replace existing shall be included as Alternate No. 1.
Notes have been added to indicate that window and window installation shall comply with Florida Building code and design pressures indicated on Sheet A4.0 DOOR AND WINDOW DETAILS.

Item No. D-2: Sheet A4.00 DOOR AND WINDOW DETAILS:
Window schedule has been added indicating design wind pressures.

End of Addendum No. 1

Attachments:

Section 00 31 00 – BID PROPOSAL FORM
Sheet A2.00 BUILDING TYPE ONE ELEVATIONS
Sheet A2.01 BUILDING TYPE TWO ELEVATIONS
Sheet A4.00 DOOR AND WINDOW DETAILS

SECTION 00 31 00 – BID PROPOSAL FORM

(EXHIBIT “A”)

PART 1 - GENERAL

1.1 BID FOR CONSTRUCTION CONTRACT FOR: PANAMA CITY HOUSING AUTHORITY PHASE 1
DEMOLITION PROJECT PCHA RFP No.2020-01:

A. **BID FROM:** _____

(herein after called "Bidder") a Corporate organized and existing under the laws of the State of Florida, a Partnership, or an individual.

B. **TO:** The PANAMA CITY HOUSING AUTHORITY (PCHA)
2315 Ruth Hentz Avenue
Panama City, FL 32405
Attention: Justin Boyce, Executive Assistant,

C. The undersigned, as Bidder, hereby declares that the only person or persons interested in the Bid as Principal or Principals is, or are, named herein and that no other person and herein mentioned has any interest in this proposal or in the contract to be entered into; that this Bid is made without connection with any other person, company, or parties making a bid; and that it is in all respects fair and in good faith, without collusion or fraud.

D. The Bidder further declares that he has examined the site of the work and informed himself fully in regard to all conditions pertaining to the places where the work is to be done; that he has examined the drawings and specifications for the work and the contractual documents relative thereto (available by registering to bid with the Architect), and has read all the special provisions furnished prior to the opening of bids, and that he has satisfied himself relative to the work to be performed.

E. The Bidder proposes and agrees, if this Bid is accepted, to contract with The Panama City Housing Authority in the form of Contract specified, to furnish all necessary materials, equipment, machinery, tools, apparatus, means of transportation, and labor necessary to complete the scope-of-work identified in full and complete accordance with the shown, noted, described, and intended requirements of the Contract Documents to the full and entire satisfaction of Florida Architects, Inc. with a definite understanding that no money will be allowed for extra work except as set for in the Contract Documents, the Bidder makes the following proposal.

F. The Bidder further proposes and agrees to commence work under this Contract no later than FIVE (5) consecutive days from the date established in the Notice to Proceed issued by the Architect, and be Substantially Complete within the time as specified in Section 00 10 00, Instructions to Bidders, Paragraph 1.21. Liquidated Damages apply for failure to perform as specified in the Project Manual.

It is planned that the Intent To Award will be issued on or about July 14, 2020 on the Owner's and Architect's Procurement Websites.

The Proposed Executed Construction Contract (including bonds and insurance) is intended to be approved by the Owner by July 20, 2020.

It is the intent that the Notice to Proceed will be issued on July 21, 2020.

G. After the date of Substantial Completion, an additional Fifteen (15) calendar days will be allowed for the following:

Completion of all punch-list items.
Removal of equipment, excess materials, and remaining items from the site.
Completion of all Contract close-out items.

- H. The Bidder further proposes and agrees to execute and deliver the said Contract and the required Certificates of Insurance and Bonds, all within five (5) consecutive calendar days after receipt of the Owner's Notice of Award.

1.2 CONSIDERATION OF BIDS:

- A. The Bidder agrees that this bid may not be withdrawn for a period of sixty (60) calendar days from the opening thereof.
- B. This Bid Form shall become a part of the Contract for Construction.

1.3 ACKNOWLEDGEMENTS:

- A. Complete and attach the Addenda to the Bidding Documents Acknowledgement Form Exhibit "I".
- B. Contractor acknowledges that he has read and understands Exhibit "L", Uniform Federal Contract Provisions Rider for Federally Funded Procurement Contracts (Version 02.16.2018).
- C. Contractor acknowledges that he has read and understands Exhibit "M", Form HUD-5370 Conditions of the Contract and Exhibit "N", U.S. Department of Labor Payroll Form.

1.4 BID AMOUNTS:

- A. **Base-Bid Amount:** For all work associated and described on the Drawings and the Specifications not described as an Alternate:

Base-Bid Amount (In Words):

_____ Dollars

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Show in both words and figure. In case of discrepancy, amount shown in words shall govern.

- B. **Alternates:** For all work associated and described on the Drawings and the Specifications as Alternate No. 1; amount (In Words):

_____ Dollars

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Show in both words and figure. In case of discrepancy, amount shown in words shall govern.

1.5 UNIT PRICE AMOUNTS:

- A. Cost of work to demolish and remove existing concrete sidewalks:

_____ Dollars Per Cubic Yard

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Show in both words and figure. In case of discrepancy, amount shown in words shall govern.

- B. Cost of work to demolish and remove existing concrete curbs and gutters:

_____ Dollars Per Cubic Yard

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Show in both words and figure. In case of discrepancy, amount shown in words shall govern.

- C. Cost of work to demolish and remove existing roadways and parking areas:

_____ Dollars Per Cubic Yard

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Show in both words and figure. In case of discrepancy, amount shown in words shall govern.

- D. Cost of work to install and finish concrete sidewalks:

_____ Dollars Per Cubic Yard

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Show in both words and figure. In case of discrepancy, amount shown in words shall govern.

E. Cost of work to install and finish concrete curbs and gutters:

_____ Dollars Per Cubic Yard

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Show in both words and figure. In case of discrepancy, amount shown in words shall govern.

F. Cost of work to install and finish roadways and parking areas:

_____ Dollars Per Cubic Yard

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Show in both words and figure. In case of discrepancy, amount shown in words shall govern.

G. Cost of work to provide and install the following pre-manufactured portable aluminum ramp systems:

a. 12' long ramp _____ Dollars Per Each

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b. 14' long ramp _____ Dollars Per Each

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(continued on next page)

c. 16' long ramp _____ Dollars Per Each

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d. 18' long ramp _____ Dollars Per Each

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b. 20' long ramp _____ Dollars Per Each

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Show in both words and figure. In case of discrepancy, amount shown in words shall govern.

(continued on next page)

1.6 SIGNATURES

- A. The undersigned Bidder holds Florida Construction Industry Licensing Board Certification Number:

Respectfully Submitted,

(FIRM NAME) _____

Address: _____

By: _____
(Signature of Authorized Officer)

Print Name & Title: _____

Witness: _____

(Seal if bid is by a Corporation)

(SEAL)

1.7 DISCLAIMER

- A. The Panama City Housing Authority reserves the right to accept or reject any or all bids, or parts thereof, or to waive informalities therein, or to accept other than the lowest bid when considered to be in the best interest of the Owner, or to waive informalities in the solicitation documents, and to obtain new bids.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 00 31 00

(D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS

(E) REPLACE EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS WITH SEPERATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION)

ALTERNATE NO. 1:
(L) REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS (FIELD VERIFY SIZE, QUANTITY). ALL BEDROOM WINDOWS ARE TO MEET EGRESS STANDARDS DEPICTED IN SECTION 1030 AND SATISFY DIMENSIONS DEPICTED IN 1030.2 OF THE 2017 FLORIDA BUILDING CODE

(H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOARD MATERIALS

1
A2.00

BUILDING A - SOUTH

1/8" = 1'-0"

(OTHER SIMILAR BUILDINGS ARE: "D", "E", "F" AND "H" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

(D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS

(H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOAD MATERIALS

2
A2.00

BUILDING A - EAST

1/8" = 1'-0"

(OTHER SIMILAR BUILDINGS ARE: "D", "E", "F" AND "H" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

(D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS

(E) REPLACE EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS WITH SEPERATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION)

ALTERNATE NO. 1:
(L) REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS (FIELD VERIFY SIZE, QUANTITY). ALL BEDROOM WINDOWS ARE TO MEET EGRESS STANDARDS DEPICTED IN SECTION 1030 AND SATISFY DIMENSIONS DEPICTED IN 1030.2 OF THE 2017 FLORIDA BUILDING CODE

(H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOARD MATERIALS

3
A2.00

BUILDING A - NORTH

1/8" = 1'-0"

(OTHER SIMILAR BUILDINGS ARE: "D", "E", "F" AND "H" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

(D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS

(H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOAD MATERIALS

4
A2.00

BUILDING A - WEST

1/8" = 1'-0"

(OTHER SIMILAR BUILDINGS ARE: "D", "E", "F" AND "H" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

NOTE:

THE FBC PRESCRIBES PERFORMANCE AND CONSTRUCTION REQUIREMENTS FOR EXTERIOR WINDOWS AND GLASS DOORS INSTALLED IN WALL SYSTEMS. TESTING BY AN APPROVED TESTING LABORATORY IS REQUIRED, AND APPROVED LABELS MUST IDENTIFY THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT CERTIFICATION AGENCY, TESTING LABORATORY, EVALUATION ENTITY OR MIAMI-DADE NOTICE OF ACCEPTANCE (NOA).

INSTALLATION:
THE PROPER ATTACHMENT OF THE WINDOW TO THE STRUCTURE IS CRITICAL TO THE PERFORMANCE OF THE WINDOW. THE MANUFACTURER SPECIFIES HOW ITS IMPACT-RESISTANT WINDOWS MUST BE INSTALLED TO OFFER THE MAXIMUM AMOUNT OF PROTECTION WHEN CONFRONTED BY STORM-DRIVEN DEBRIS. FOLLOW THE "PUBLISHED MANUFACTURER'S RECOMMENDATIONS" FOR DESIGN PRESSURES INDICATED ON SHEET A4.00.

DETAILED INFORMATION ABOUT WINDOW AND DOOR INSTALLATION IS PROVIDED IN THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) STANDARD ASTM E 2112 (STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS AND SKYLIGHTS), A COMPREHENSIVE INSTALLATION GUIDE. INSTALLER SHALL HAVE EXPERIENCE AND BE FAMILIAR WITH THIS DOCUMENT AND OTHER INSTALLATION SPECIFICATIONS AS AVAILABLE THROUGH THE AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION (AAMA) AND FOLLOW THE MANUFACTURER'S INSTALLATION GUIDELINES.

CLIENT:

CONSULTANTS:

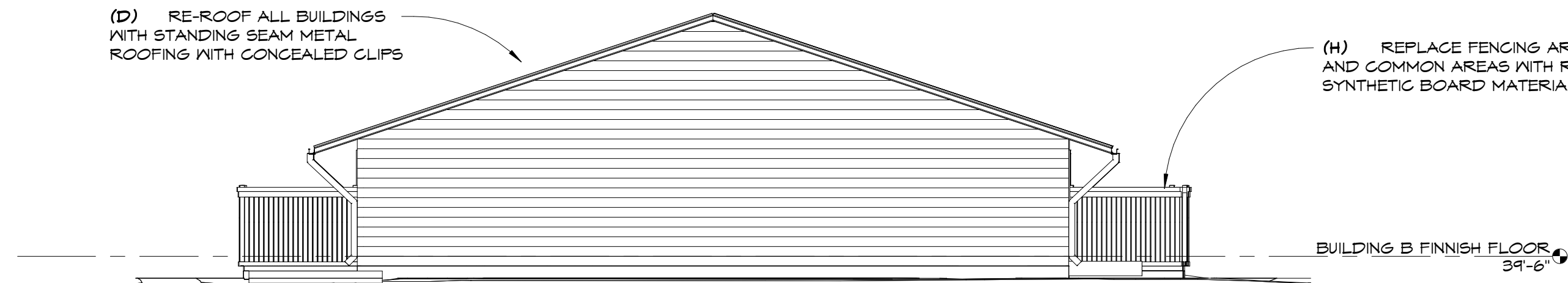
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| As indicated | | 6/18/2020 | |
| DRAWN BY: | | CHECKED BY: | |
| PRO | | MFH | |
| NO | REVISION | | DATE |
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| 2 | DESIGN PRESSURES | | 7/2/2020 |
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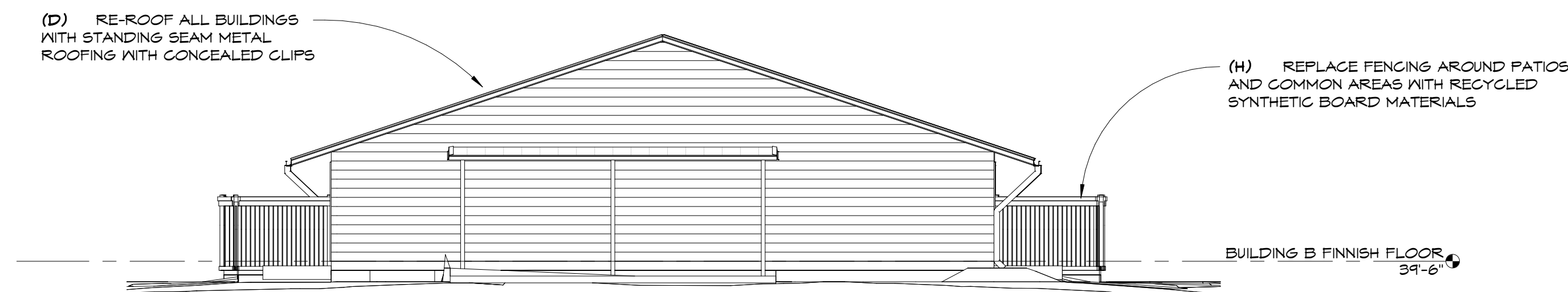
**BUILDING TYPE
ONE ELEVATIONS**



1 BUILDING B - SOUTH
1/8" = 1'-0"
(OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J", DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)



2 BUILDING B - EAST
1/8" = 1'-0"
(OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)



3 BUILDING B - NORTH
1/8" = 1'-0"
(OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)



4 BUILDING B -WEST
1/8" = 1'-0"
(OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

ALTERNATE NO. 1:
(L) REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS (FIELD VERIFY SIZE, QUANTITY). ALL BEDROOM WINDOWS ARE TO MEET EGRESS STANDARDS DEPICTED IN SECTION 1030 AND SATISFY DIMENSIONS DEPICTED IN 1030.2 OF THE 2011 FLORIDA BUILDING CODE

(H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOARD MATERIALS

NOTE:

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CLIENT:



PANAMA CITY HOUSING
AUTHORITY
1918 MACK LEWIS DRIVE
PANAMA CITY, FL 32401

PROJECT:
NORTHGATE TERRACE II
IMPROVEMENTS
PROJECT 2020

1915 WILSON AVENUE,
PANAMA CITY, FL 32405
(850) 769-5278

CONSULTANTS:



SEAL:

BID SET

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|--------------|----------------------|-------------|----------|
| SCALE: | | DATE: | |
| As indicated | | 6/18/2020 | |
| DRAWN BY: | | CHECKED BY: | |
| PRO | | MFH | |
| NO | REVISION | | DATE |
| 1 | REPLACE ENTIRE SHEET | | 7/1/2020 |
| 2 | DESIGN PRESSURES | | 7/2/2020 |

SHEET TITLE:

**BUILDING TYPE
TWO ELEVATIONS**

