ADDENDUM No. TWO (2) TO PROJECT DOCUMENTS PANAMA CITY HOUSING AUTHORITY NORTHGATE TERRACE II RENOVATIONS & REPAIRS PROJECT PCHA RFP #2020-02 Panama City, FL FLA Project No. 4274-08



ADDENDUM NO. TWO (2)

The Construction Drawings and/or Project Manual for the above project are amended in the following particulars and in these particulars only. All provisions of the original drawings and/or specifications shall remain in force, except as specifically modified or changed herein or by other Addenda issued by the Architect. This Addendum is hereby made part of the Contract Documents. Be sure to note Addenda on Acknowledgment on Bid Proposal Forms.

GENERAL PROJECT INFORMATION:

RESPONSES TO QUESTIONS RECEIVED DURING BIDDING:

PROJECT MANUAL/SPECIFICATIONS/CLARIFICATIONS (PM):

Item No. PM-1: SECTION 00 31 00 - BID PROPOSAL FORM:

Replace Section 00 31 00 – Bid Proposal Form with revised form dated 7/2/2020 attached. Revisions include addition of unit price items and include Alternate #1 – Replace Existing

Windows with New Vinyl Windows.

DRAWINGS:

Item No. D-1: Sheet A2.00 BUILDING TYPE ONE ELEVATIONS and A2.01 BUILDING TYPE TWO

ELEVATIONS:

All new Vinyl Windows to replace existing shall be included as Alternate No. 1.

Notes have been added to indicate that window and window installation shall comply with

Florida Building code and design pressures indicated on Sheet A4.0 DOOR AND

WINDOW DETAILS.

Item No. D-2: Sheet A4.00 DOOR AND WINDOW DETAILS:

Window schedule has been added indicating design wind pressures.

End of Addendum No. 1

Attachments:

Section 00 31 00 – BID PROPOSAL FORM Sheet A2.00 BUILDING TYPE ONE ELEVATIONS Sheet A2.01 BUILDING TYPE TWO ELEVATIONS Sheet A4.00 DOOR AND WINDOW DETAILS

SECTION 00 31 00 - BID PROPOSAL FORM

(EXHIBIT "A")

PART 1 - GENERAL

1.1	D FOR CONSTRUCTION CONTRACT FOR: PANAMA CITY HOUSING AUTHORITY PHASE	: 1
	EMOLITION PROJECT PCHA RFP No.2020-01:	

A.	BID FROM:	
	•	

(herein after called "Bidder") a Corporate organized and existing under the laws of the State of Florida, a Partnership, or an individual.

- B. **TO:** The PANAMA CITY HOUSING AUTHORITY (PCHA) 2315 Ruth Hentz Avenue Panama City, FL 32405 Attention: Justin Boyce, Executive Assistant,
- C. The undersigned, as Bidder, hereby declares that the only person or persons interested in the Bid as Principal or Principals is, or are, named herein and that no other person and herein mentioned has any interest in this proposal or in the contract to be entered into; that this Bid is made without connection with any other person, company, or parties making a bid; and that it is in all respects fair and in good faith, without collusion or fraud.
- D. The Bidder further declares that he has examined the site of the work and informed himself fully in regard to all conditions pertaining to the places where the work is to be done; that he has examined the drawings and specifications for the work and the contractual documents relative thereto (available by registering to bid with the Architect), and has read all the special provisions furnished prior to the opening of bids, and that he has satisfied himself relative to the work to be performed.
- E. The Bidder proposes and agrees, if this Bid is accepted, to contract with The Panama City Housing Authority in the form of Contract specified, to furnish all necessary materials, equipment, machinery, tools, apparatus, means of transportation, and labor necessary to complete the scope-of-work identified in full and complete accordance with the shown, noted, described, and intended requirements of the Contract Documents to the full and entire satisfaction of Florida Architects, Inc. with a definite understanding that no money will be allowed for extra work except as set for in the Contract Documents, the Bidder makes the following proposal.
- F. The Bidder further proposes and agrees to commence work under this Contract no later than FIVE (5) consecutive days from the date established in the Notice to Proceed issued by the Architect, and be Substantially Complete within the time as specified in Section 00 10 00, Instructions to Bidders, Paragraph 1.21. Liquidated Damages apply for failure to perform as specified in the Project Manual.

It is planned that the Intent To Award will be issued on or about <u>July 14, 2020</u> on the Owner's and Architect's Procurement Websites.

The Proposed Executed Construction Contract (including bonds and insurance) is intended to be approved by the Owner by <u>July 20, 2020</u>.

It is the intent that the Notice to Proceed will be issued on July 21, 2020.

G. After the date of Substantial Completion, an additional Fifteen (15) calendar days will be allowed for the following:

Completion of all punch-list items.

Removal of equipment, excess materials, and remaining items from the site.

Completion of all Contract close-out items.

- H. The Bidder further proposes and agrees to execute and deliver the said Contract and the required Certificates of Insurance and Bonds, all within five (5) consecutive calendar days after receipt of the Owner's Notice of Award.
- 1.2 CONSIDERATION OF BIDS:
 - A. The Bidder agrees that this bid may not be withdrawn for a period of <u>sixty (60)</u> calendar days from the opening thereof.
 - B. This Bid Form shall become a part of the Contract for Construction.
- 1.3 ACKNOWLEDGEMENTS:
 - A. Complete and attach the Addenda to the Bidding Documents Acknowledgement Form Exhibit "I".
 - B. Contractor acknowledges that he has read and understands Exhibit "L", Uniform Federal Contract Provisions Rider for Federally Funded Procurement Contracts (Version 02.16.2018).
 - C. Contractor acknowledges that he has read and understands Exhibit "M", Form HUD-5370 Conditions of the Contract and Exhibit "N", U.S. Department of Labor Payroll Form.
- 1.4 BID AMOUNTS:

A.	Base-Bid Amount: For all work associated and described on the Drawings and the Specifications no
	described as an Alternate:

	base-blu Amount (in Words).
	Dollars
	(\$
)
	Show in both words and figure. In case of discrepancy, amount shown in words shall govern.
B.	<u>Alternates:</u> For all work associated and described on the Drawings and the Specifications as Alternate No. 1; amount (In Words):
	Dollars
	(\$
) Show in both words and figure. In case of discrepancy, amount shown in words shall govern.

Raco Rid Amount (In Words):

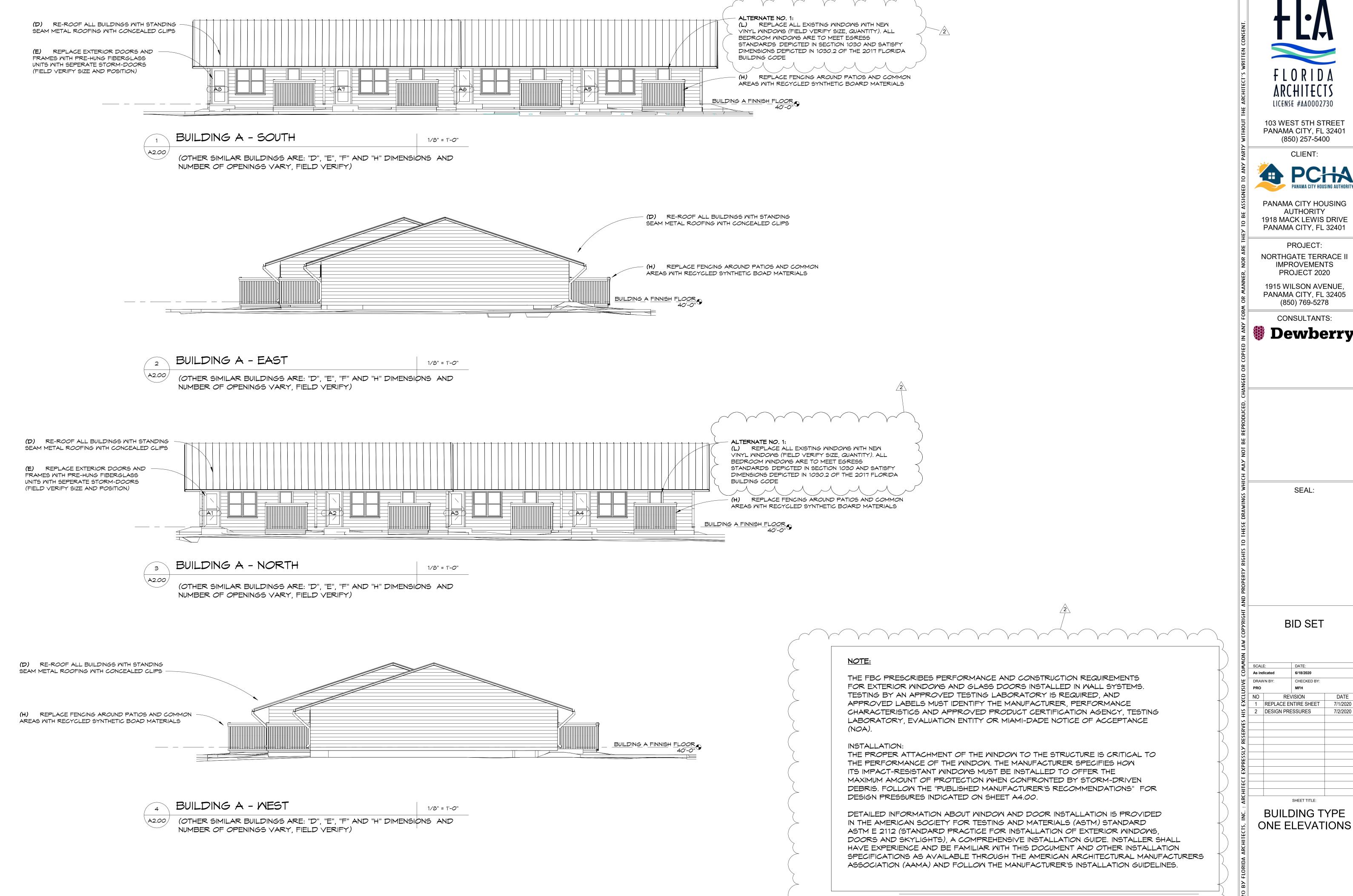
1.5	UNIT PRICE AMOUNTS:
A.	Cost of work to demolish and remove existing concrete sidewalks:
	Dollars Per Cubic Yard
	(\$
)
	Show in both words and figure. In case of discrepancy, amount shown in words shall govern.
В.	Cost of work to demolish and remove existing concrete curbs and gutters:
	Dollars Per Cubic Yard
	(\$
)
	Show in both words and figure. In case of discrepancy, amount shown in words shall govern.
C.	Cost of work to demolish and remove existing roadways and parking areas:
	Dollars Per Cubic Yard
	(\$
)
	Show in both words and figure. In case of discrepancy, amount shown in words shall govern.
D.	Cost of work to install and finish concrete sidewalks:
	Dollars Per Cubic Yar
	(\$
)
	Show in both words and figure. In case of discrepancy, amount shown in words shall govern.

E.	Cost of work to install and finish concrete curbs	s and gutters:
		Dollars Per Cubic Yard
	(\$	
)
	Show in both words and figure. In case	of discrepancy, amount shown in words shall govern.
F.	Cost of work to install and finish roadways and	parking areas:
		Dollars Per Cubic Yard
	(\$	
)
	Show in both words and figure. In case	of discrepancy, amount shown in words shall govern.
G.	Cost of work to provide and install the following	g pre-manufactured portable aluminum ramp systems:
	a. 12' long ramp	Dollars Per Each
	(\$	
)
	b. 14' long ramp	Dollars Per Each
	(\$	
)
(continue	ed on next page)	

c. 16' long ramp	_Dollars Per Each
(\$	
)
d. 18' long ramp	_Dollars Per Each
(\$	
)
b. 20' long ramp	_Dollars Per Each
(\$	
)
Show in both words and figure. In case of discrepancy,	amount shown in words shall govern.

(continued on next page)

1.6	SIGNATURES
A.	The undersigned Bidder holds Florida Construction Industry Licensing Board Certification Number:
	Respectfully Submitted, (FIRM NAME) Address: By: (Signature of Authorized Officer) Print Name &Title: Witness: (Seal if bid is by a Corporation) (SEAL)
1.7	DISCLAIMER
Α.	The Panama City Housing Authority reserves the right to accept or reject any or all bids, or parts thereof, or to waive informalities therein, or to accept other than the lowest bid when considered to be in the best interest of the Owner, or to waive informalities in the solicitation documents, and to obtain new bids.
PART 2	- PRODUCTS (Not Used)
PART 3	- EXECUTION (Not Used)
END OF	SECTION 00 31 00



LICENSE #AAOOO2730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

IMPROVEMENTS PROJECT 2020

PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



SEAL:

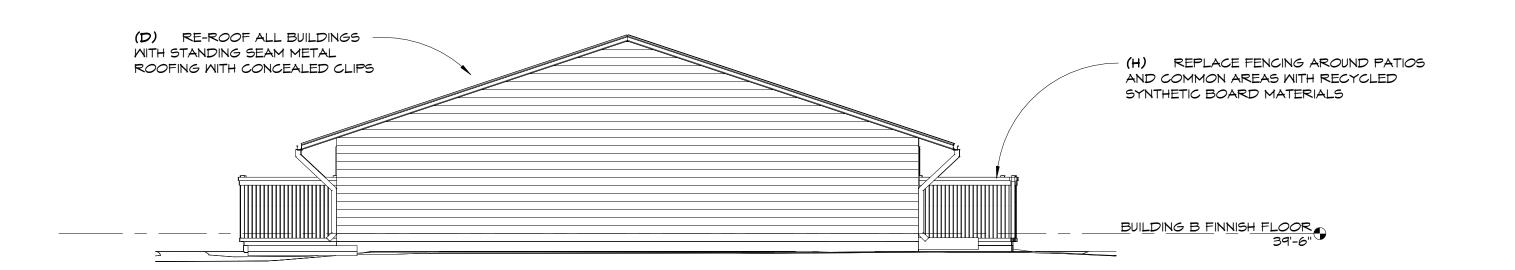
BID SET

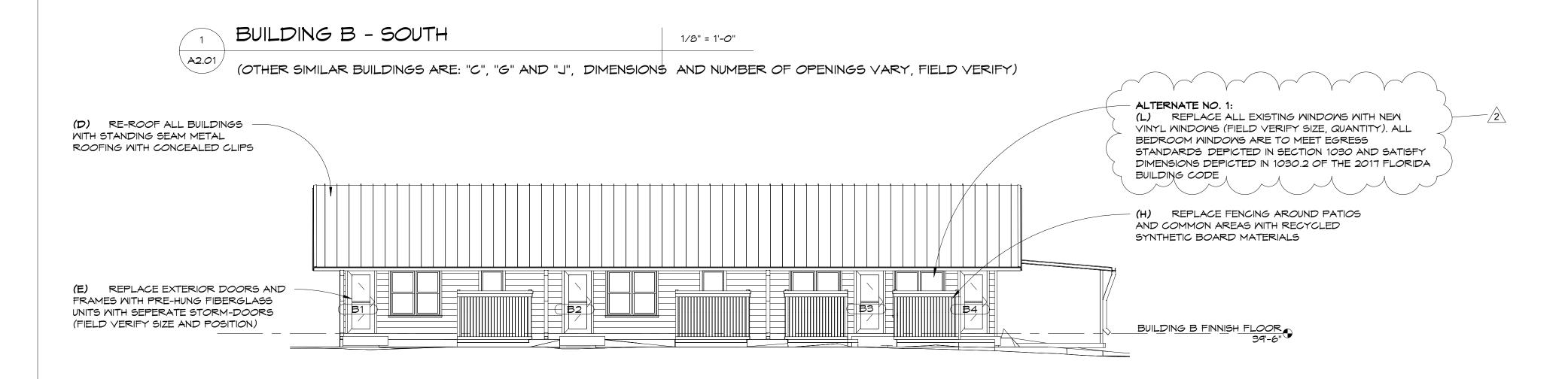
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RESERVES HIS EXCLUSIVE COMMO	As inc	dicated	6/18/2020	
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≅	2	DESIGN PRE	SSURES	7/2/2020
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BUILDING TYPE

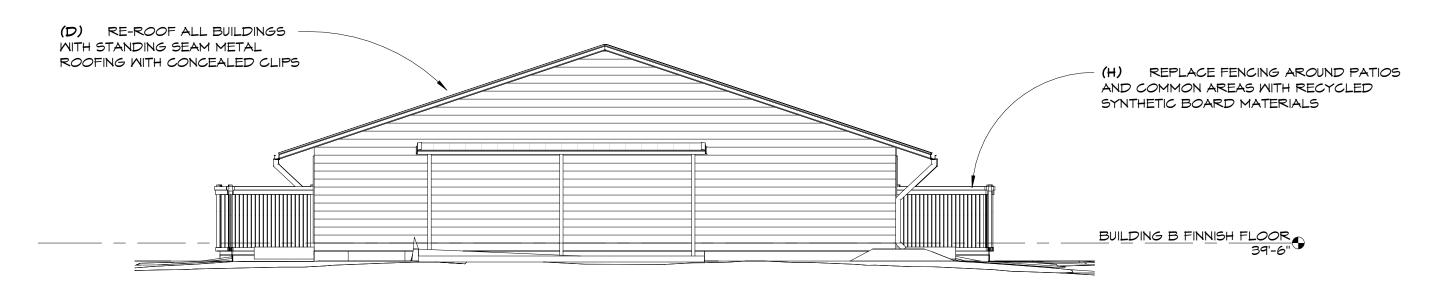
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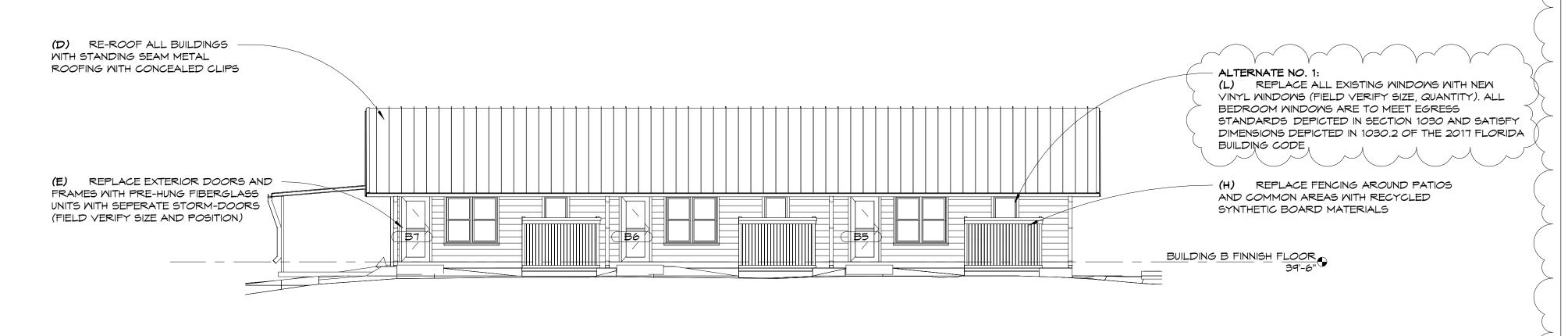




BUILDING B - EAST 1/8" = 1'-0" (OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)



BUILDING B - NORTH 1/8" = 1'-0" (OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)



BUILDING B -MEST 1/8" = 1'-0"

(OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

THE FBC PRESCRIBES PERFORMANCE AND CONSTRUCTION REQUIREMENTS FOR EXTERIOR WINDOWS AND GLASS DOORS INSTALLED IN WALL SYSTEMS. TESTING BY AN APPROVED TESTING LABORATORY IS REQUIRED, AND APPROVED LABELS MUST IDENTIFY THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT CERTIFICATION AGENCY, TESTING LABORATORY, EVALUATION ENTITY OR MIAMI-DADE NOTICE OF ACCEPTANCE (NOA).

INSTALLATION:

THE PROPER ATTACHMENT OF THE WINDOW TO THE STRUCTURE IS CRITICAL TO THE PERFORMANCE OF THE WINDOW. THE MANUFACTURER SPECIFIES HOW ITS IMPACT-RESISTANT WINDOWS MUST BE INSTALLED TO OFFER THE MAXIMUM AMOUNT OF PROTECTION WHEN CONFRONTED BY STORM-DRIVEN DEBRIS. FOLLOW THE "PUBLISHED MANUFACTURER'S RECOMMENDATIONS" FOR DESIGN PRESSURES INDICATED ON SHEET A4.00.

DETAILED INFORMATION ABOUT WINDOW AND DOOR INSTALLATION IS PROVIDED IN THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) STANDARD ASTM E 2112 (STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS AND SKYLIGHTS), A COMPREHENSIVE INSTALLATION GUIDE. INSTALLER SHALL HAVE EXPERIENCE AND BE FAMILIAR WITH THIS DOCUMENT AND OTHER INSTALLATION SPECIFICATIONS AS AVAILABLE THROUGH THE AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION (AAMA) AND FOLLOW THE MANUFACTURER'S INSTALLATION GUIDELINES.

LICENSE #AAOOO2730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

NORTHGATE TERRACE II **IMPROVEMENTS** PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



SEAL:

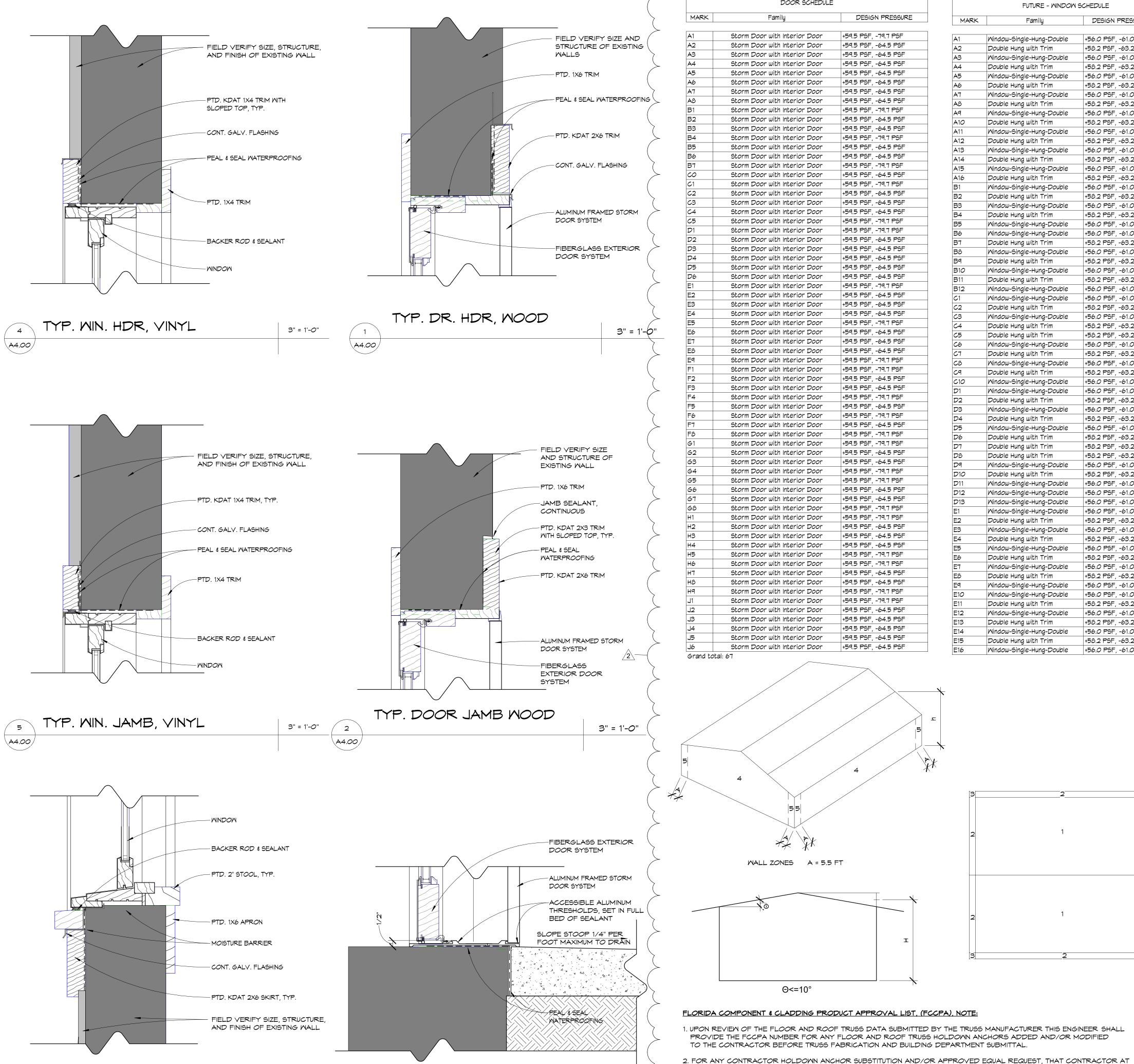
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BUILDING TYPE TWO ELEVATIONS

6 4247-09

A2.01



TYP. DR. SILL, WOOD

TYP. WIN. SILL, VINYL

(Family	DESIGN PRESSURI
	Storm Door with Interior Door	+59.5 PSF, -79.7 PSF
	Storm Door with Interior Door	+59.5 PSF, -64.5 PSF
	Storm Door with Interior Door	+59.5 PSF, -64.5 PSF
	Storm Door with Interior Door	+59.5 PSF, -64.5 PSF
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	Storm Door with Interior Door	+59.5 PSF, -79.7 PSF
	Storm Door with Interior Door	+59.5 PSF, -64.5 PSF
	Storm Door with Interior Door	+59.5 PSF, -64.5 PSF
	Storm Door with Interior Door	+59.5 PSF, -64.5 PSF
	Storm Door with Interior Door	+59.5 PSF, -79.7 PSF
	Storm Door with Interior Door	+59.5 PSF, -79.7 PSF
	Storm Door with Interior Door	+59.5 PSF, -64.5 PSF
	Storm Door with Interior Door	+59.5 PSF, -64.5 PSF
	Storm Door with Interior Door	+59.5 PSF, -79.7 PSF
	Storm Door with Interior Door	
		+59.5 PSF, -79.7 PSF
	Storm Door with Interior Door	+59.5 PSF, -64.5 PSF
	Storm Door with Interior Door Storm Door with Interior Door	+59.5 PSF, -64.5 PSF
	Storm Door with Interior Door	+59.5 PSF, -64.5 PSF +59.5 PSF, -64.5 PSF
		TOT , -64.5 FOF

WALL ZONES A = 5.5 FT

Θ<=10°

APPROVAL.

3" = 1'-*0*" \

TIME OF REQUEST SHALL PROVIDE THE FCCPA NUMBER TO THIS ENGINEER AND TO THE BUILDING DEPARTMENT UPON

3. THE ARCHITECT OR CONTRACTOR SHALL PROVIDE THE FCCPA NUMBER TO THE BUILDING DEPARTMENT ALL NON-

STRUCTURAL BUILDING COMPONETS: ROOF FINISH, EXTERIOR WALL FINISH, TRIM MATERIAL, DOORS AND WINDOWS

DOOR SCHEDULE

MARK	Family	DESIGN PRESSURE
A1	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
A2	Double Hung with Trim	+58.2 PSF, -63.2 PSF
A3	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
A4	Double Hung with Trim	+58.2 PSF, -63.2 PSF
<u></u>	Window-Single-Hung-Double	+56.0 PSF, -61.0 PSF
A6	Double Hung with Trim	+58.2 PSF, -63.2 PSF
A7	-	
	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
A8	Double Hung with Trim	+58.2 PSF, -63.2 PSF
A9	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
A10	Double Hung with Trim	+58.2 PSF, -63.2 PSF
A11	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
A12	Double Hung with Trim	+58.2 PSF, -63.2 PSF
A13	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
A14	Double Hung with Trim	+58.2 PSF, -63.2 PSF
A15	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
A16	Double Hung with Trim	+58.2 PSF, -63.2 PSF
B1	Window-Single-Hung-Double	+56.0 PSF, -61.0 PSF
	<u> </u>	
B2	Double Hung with Trim	+58.2 PSF, -63.2 PSF
B3	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
B4	Double Hung with Trim	+58.2 PSF, -63.2 PSF
B5	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
B6	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
B7	Double Hung with Trim	+58.2 PSF, -63.2 PSF
B8	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
<u> </u>	Double Hung with Trim	+58.2 PSF, -63.2 PSF
B10	Window-Single-Hung-Double	+56.0 PSF, -61.0 PSF
B11	Double Hung with Trim	+58.2 PSF, -63.2 PSF
B12	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
C 1	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
C2	Double Hung with Trim	+58.2 PSF, -63.2 PSF
C 3	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
C4	Double Hung with Trim	+58.2 PSF, -63.2 PSF
C5	Double Hung with Trim	+58.2 PSF, -63.2 PSF
C6	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
<u> </u>	Double Hung with Trim	+58.2 PSF, -63.2 PSF
<u>C8</u>	<u> </u>	
	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
C9	Double Hung with Trim	+58.2 PSF, -63.2 PSF
C10	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
D1	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
D2	Double Hung with Trim	+58.2 PSF, -63.2 PSF
D3	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
D4	Double Hung with Trim	+58.2 PSF, -63.2 PSF
D5	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
D6	Double Hung with Trim	+58.2 PSF, -63.2 PSF
D7	Double Hung with Trim	+58.2 PSF, -63.2 PSF
D8	,	
	Double Hung with Trim	+58.2 PSF, -63.2 PSF
D9	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
D10	Double Hung with Trim	+58.2 PSF, -63.2 PSF
D11	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
D12	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
D13	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
E1	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
E2	Double Hung with Trim	+58.2 PSF, -63.2 PSF
<u></u> E3	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
<u> </u>	Double Hung with Trim	+58.2 PSF, -63.2 PSF
	-	
E5	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
E6	Double Hung with Trim	+58.2 PSF, -63.2 PSF
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E12	Window-Single-Hung-Double	+56.0 PSF, -61.0 PSF
E13	Double Hung with Trim	+58.2 PSF, -63.2 PSF
E14	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
E15	Double Hung with Trim	+58.2 PSF, -63.2 PSF
E16	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF

FUTURE - MINDOM SCHEDULE

F1		
	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
F2	Double Hung with Trim	+58.2 PSF, -63.2 PSF
F3	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
F4	Double Hung with Trim	+58.2 PSF, -63.2 PSF
F 5	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
- 6	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
F7	Double Hung with Trim	+58.2 PSF, -63.2 PSF
F8	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
 F9	Double Hung with Trim	+58.2 PSF, -63.2 PSF
F10	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
F11	Double Hung with Trim	+58.2 PSF, -63.2 PSF
F12	Window-Single-Hung-Double	+56.0 PSF, -61.0 PSF
F13	Double Hung with Trim	+58.2 PSF, -63.2 PSF
F14	Double Hung with Trim	+58.2 PSF, -63.2 PSF
F15	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
F16	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
G 1	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
<i>9</i> 2	Double Hung with Trim	+58.2 PSF, -63.2 PSF
6 3	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
G4	Double Hung with Trim	+58.2 PSF, -63.2 PSF
<i>G</i> 5	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
G6	Double Hung with Trim	+58.2 PSF, -63.2 PSF
<u>67</u>	Window-Single-Hung-Double	+56.0 PSF, -61.0 PSF
<u>6</u> 8	Window-Single-Hung-Double	+56.0 PSF, -61.0 PSF
<u>90</u> 69	<u> </u>	
	Double Hung with Trim	+58.2 PSF, -63.2 PSF
S10	Window-Single-Hung-Double	+56.0 PSF, -61.0 PSF
5 11	Double Hung with Trim	+58.2 PSF, -63.2 PSF
G12	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
5 13	Double Hung with Trim	+58.2 PSF, -63.2 PSF
G 14	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
H1	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
12	Double Hung with Trim	+58.2 PSF, -63.2 PSF
1 3	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
14	Double Hung with Trim	+58.2 PSF, -63.2 PSF
	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
H6	Double Hung with Trim	+58.2 PSF, -63.2 PSF
 +7	Window-Single-Hung-Double	+56.0 PSF, -61.0 PSF
H8	Window-Single-Hung-Double	+56.0 PSF, -61.0 PSF
H9	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
+10	Double Hung with Trim	+58.2 PSF, -63.2 PSF
1 11	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
1 12	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
H13	Double Hung with Trim	+58.2 PSF, -63.2 PSF
H14	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
H15	Double Hung with Trim	+58.2 PSF, -63.2 PSF
H16	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
J1	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
 J2	Double Hung with Trim	+58.2 PSF, -63.2 PSF
<u></u> 13	Window-Single-Hung-Double	+56.0 PSF, -61.0 PSF
<u></u> 	Double Hung with Trim	+58.2 PSF, -63.2 PSF
	-	
J5	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
J6	Double Hung with Trim	+58.2 PSF, -63.2 PSF
<u> </u>	Double Hung with Trim	+58.2 PSF, -63.2 PSF
18 	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
J9	Double Hung with Trim	+58.2 PSF, -63.2 PSF
J10	Mindow-Single-Hung-Double	+56.0 PSF, -61.0 PSF
	Double Hung with Trim	+58.2 PSF, -63.2 PSF
	Double Hung with Hill	
J11 J12	Window-Single-Hung-Double	+56.0 PSF, -61.0 PSF

FUTURE - MINDOM SCHEDULE

DESIGN PRESSURE NOTES

MARK

The information below was calculated using the provisions of the 2017 Florida Building Code.

F	loor and R	oof Live Loads	
Attics:	20	opsf w/ storage, 10 psf w/c	storage
Habitable Attics, Bedroo	oms: 30) psf	
Public Rooms & Corrido	ors: 10	00 psf	
Other Areas, Garages:) psf	
Roofs:	20) psf	
	Wind D	esign Data	
Ultimate Wind Speed:	150 mph	Nominal Wind Speed:	116 mph
Risk Category:	Ш	Wind Exposure:	D
Enclosura Classification:	Englosed	End Zone Width:	5 50 ft

<u> </u>		Wind De	esign Data		
Ultimate V	Vind Speed:	150 mph	Nominal Wind	Speed:	116 mph
Risk Category:		Ш	Wind Exposure	34	D
Enclosure	Classification:	Enclosed	End Zone Widt	h:	5.50 ft.
Internal Pr	essure Coeffici	ent:	0.18 +/-		
Components and Cladding Design Pressures	Roof Zone 1:		+34.3 psf max.,	-54.4 p	sf min.
	Roof Zone 2:		+34.3 psf max.,	-94.8 p	sf min.
	Roof Zone 3:		+34.3 psf max.,	-140.2	psf min.
	Roof at Zone	2 Overhang	s:	-111.0	psf min.
	Roof at Zone	3 Overhang	s:	-186.5	psf min.
	Wall Zone 4:		+59.5 psf max.,	-64.5 p	sf min.
\mathcal{O}	Wall Zone 5:		+59.5 psf max.,	-79.7 p	sf min.

The Ultimate Wind Speed was used to determine the above Component and Cladding Design Pressures.

All exterior glazed openings shall be protected from wind-borne debris as per Section 1609.1.2 of the code.

The site of this building is not subject to special topographic wind effects

Geotechnical Inform	nation	
Design Soil Load-Bearing Capacity:	2,500 psf	
Flood Design Da	ata	
Flood Zone:	Α	

This table was created using Windload Calculator Plus

LICENSE #AAOOO2730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT: NORTHGATE TERRACE II **IMPROVEMENTS**

PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



SEAL:

BID SET

SCALE:		DATE:	
As indicated		6/18/2020	
DRAWN BY:		CHECKED BY:	
PRO		MFH	
NO	REVISION		DATE
1	REPLACE ENTIRE SHEET		7/1/2020
2	DESIGN PRESSURES		7/2/2020

SHEET TITLE: DOOR AND WINDOW DETAILS

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