

ADDENDUM NO. ONE (1)

The Construction Drawings and/or Project Manual for the above project are amended in the following particulars and in these particulars only. All provisions of the original drawings and/or specifications shall remain in force, except as specifically modified or changed herein or by other Addenda issued by the Architect. This Addendum is hereby made part of the Contract Documents. Be sure to note Addenda on Acknowledgment on Bid Proposal Forms.

GENERAL PROJECT INFORMATION:

The set of drawings has undergone numerous changes, for clarity replace entire original set of drawings with attached set of drawings.

RESPONSES TO QUESTIONS RECEIVED DURING BIDDING:

PROJECT MANUAL/SPECIFICATIONS/CLARIFICATIONS (PM):

Item No. PM-1: None

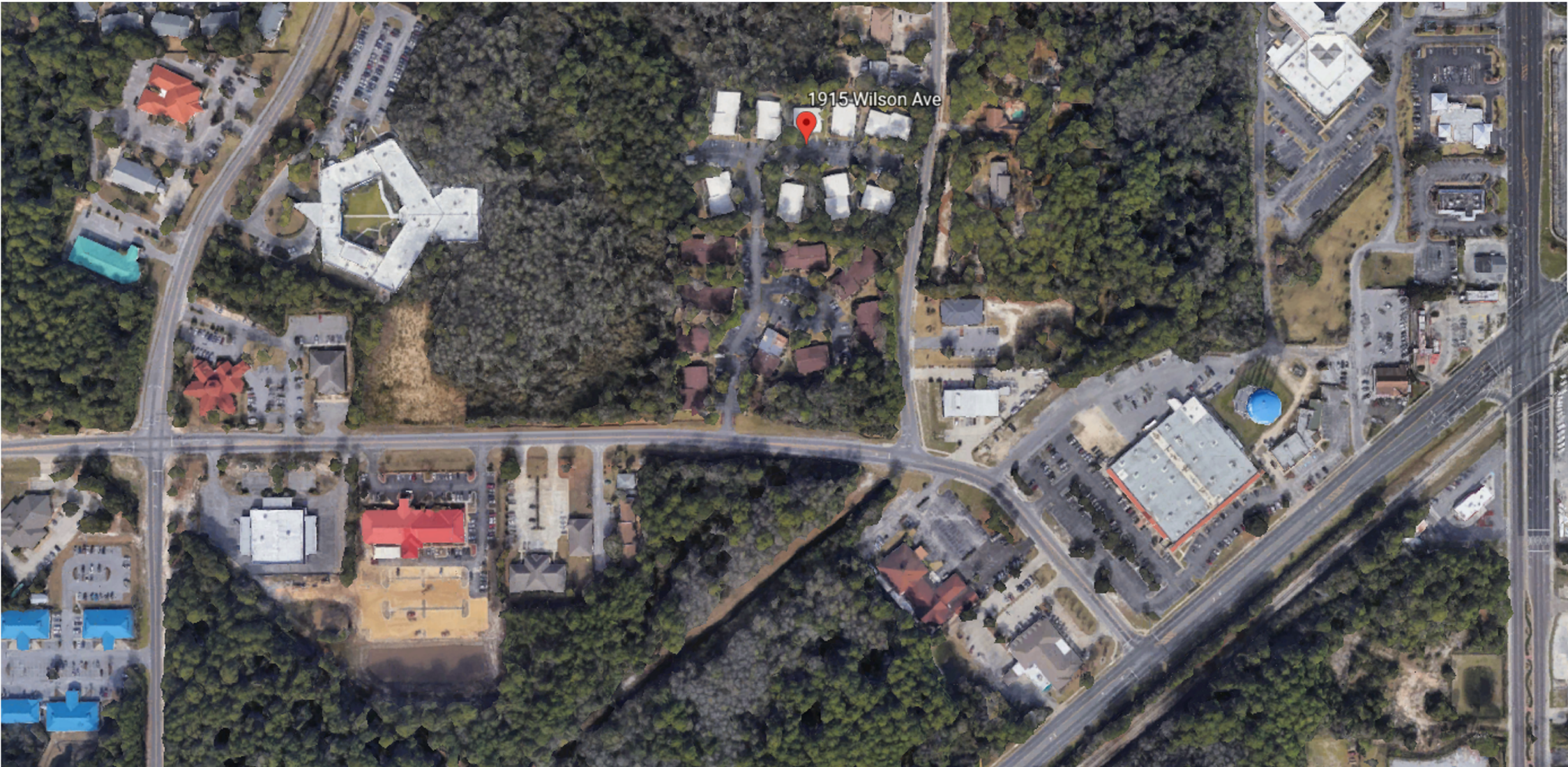
DRAWINGS:

Item No. D-1: The attached set of drawings replaces original set. Sheets revised have a 7/1/2020 revision date.

End of Addendum No. 1

Attachments:

Bid Set Drawings revised 7/1/2020.



NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

1915 WILSON AVENUE,
PANAMA CITY, FLORIDA 32405
(850) 769-5278

BID SET

JUNE 18, 2020
REVISED PER ADDENDUM #1 7/1/2020
REPLACE ALL SHEETS

PROJECT DETAILS:



GENERAL SYMBOLS			
	BUILDING OR WALL SECTION	78.0	EXISTING POINT ELEVATION
	DETAIL REFERENCE	79.0	NEW OR FINISH POINT ELEVATION
	BUILDING ELEVATION	79.0	EXISTING CONTOUR LINE
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	PROPERTY LINE	78.0	TEST BORING
	CENTER LINE	78.0	LEVEL ELEVATION DATUM POINT
	HIDDEN LINE OR LINE ABOVE	78.0	REVISION NUMBER
	BREAK LINE	78.0	COLUMN LINE REFERENCE
	PLAN NORTH - NORTH ARROW	78.0	INDICATES WINDOW TYPE
	TRUE NORTH - NORTH ARROW	78.0	KEYNOTE
	DOOR NUMBER	78.0	ROOM NAME ROOM NUMBER
		78.0	PARTITION TYPE

DESIGN CODES
FLORIDA BUILDING CODE, 5TH EDITION (2017) - BUILDING
FLORIDA BUILDING CODE- 5TH EDITION (2017) - ACCESSIBILITY
FLORIDA BUILDING CODE- 5TH EDITION (2017) - TEST PROTOCOLS
FLORIDA BUILDING CODE- 5TH EDITION (2017) - MECHANICAL
FLORIDA BUILDING CODE- 5TH EDITION (2017) - PLUMBING
FLORIDA BUILDING CODE- 5TH EDITION (2017) - FUEL GAS
FLORIDA FIRE PREVENTION CODE, 5TH EDITION (2014)
NFPA 101- LIFE SAFETY CODE (2018 EDITION)

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CIVIL	
SHEET NUMBER	SHEET NAME
C0.00	CIVIL COVER SHEET
C1.00	GENERAL NOTES
C2.00	SWPPP
C3.00	EXISTING CONDITIONS
C4.00	DEMO
C5.00	SITE PLAN
C6.00	GRADING PLAN
C7.00	MISC.

PROJECT DIRECTORY:

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FLORIDA ARCHITECTS, INC.
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FLORIDA
ARCHITECTS
LICENSE #AA0002730

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CLIENT:



PANAMA CITY HOUSING
AUTHORITY
1918 MACK LEWIS DRIVE
PANAMA CITY, FL 32401

PROJECT:

NORTHGATE TERRACE II
IMPROVEMENTS
PROJECT 2020

1915 WILSON AVENUE,
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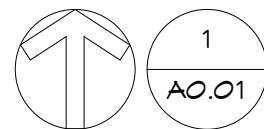
CONSULTANTS:



SCALE:		DATE:	
6" = 1'-0"		6/18/2020	
DRAWN BY:		CHECKED BY:	
PRO		MFH	
NO.	REVISION:		DATE:
1	REPLACE ENTIRE SHEET		7/1/2020

SHEET TITLE:
COVER SHEET

EXISTING - PARKING SCHEDULE	
TYPE	COUNT
9'-0" x 20'-0" (9'-0" Aisle)	12
9'-0" x 20'-0" at 40°	83
Grand total: 95	



EXISTING - SITE PLAN

1" = 20'-0"

SEAL:

BID SET

SCALE:	DATE:
1" = 20'-0"	6/18/2020
DRAWN BY:	CHECKED BY:
PRO	MFH

NO.	REVISION:	DATE:

SHEET TITLE:
**EXISTING SITE
PLAN**

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DEMOLITION - GENERAL NOTES

- (1) REMOVE EXISTING WOOD AND CONCRETE RAMPS
- (2) REMOVE EXISTING SIDEWALKS
- (3) REMOVE ALL REMAINING PATIO AND COMMON AREA FENCING
- (4) REMOVE EXISTING PAVEMENT AS REQUIRED FOR LEVEL HANDICAP SPACE AND AISLE
- (5) CUT EDGE OF PAVEMENT BACK TO LEAVE 22' WIDE ROADWAYS WITH 20' DEEP PARKING SPACE ON EITHER SIDE
- (6) REMOVE OBSTRUCTIONS AROUND ENTRANCE IN PREPERATION FOR THE ENTRANCE TO WIDEN
- (7) REMOVE DUMPSTER PADS
- (8) REMOVE EXISTING ROOF FROM EACH BUILDING/UNIT
- (9) REMOVE ALL EXTERIOR DOORS FROM EACH BUILDING/UNIT
- (10) REMOVE EXISTING CONCRETE PATIO IN PREPARATION FOR GRADE CHANGES FOR NEW RAMPS, SIDEWALKS AND STEPS.

ALTERNATE #1:

- [1] REMOVE ALL EXISTING WINDOWS FROM EACH BUILDING/UNIT

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CONSULTANTS:



SEAL:

BID SET

SCALE:	DATE:
As indicated	6/18/2020
DRAWN BY:	CHECKED BY:
PRO	MFH

NO.	REVISION:	DATE:

SHEET TITLE:

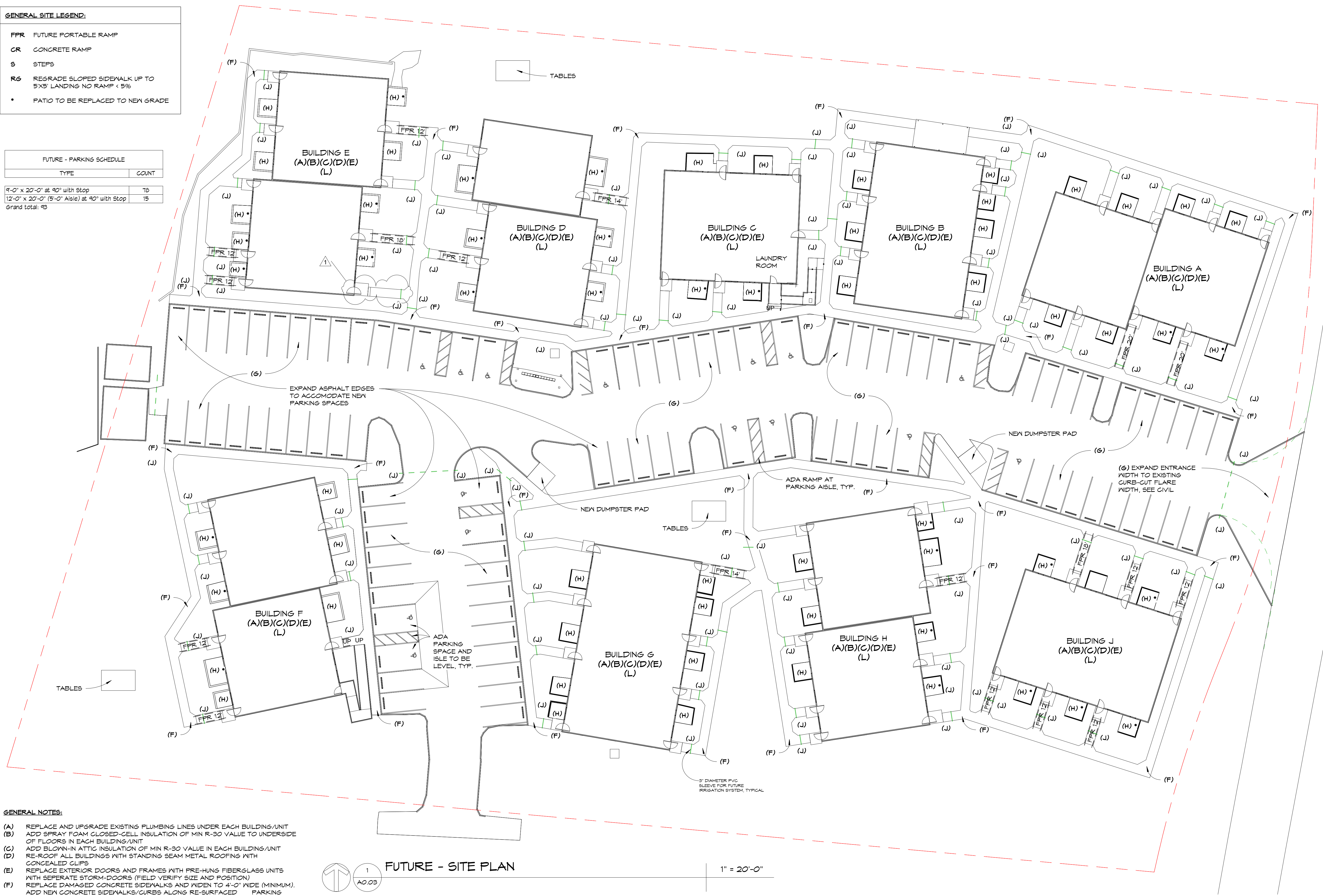
**DEMOLITION SITE
PLAN**

GENERAL SITE LEGEND:

- FPR FUTURE PORTABLE RAMP
CR CONCRETE RAMP
S STEPS
RG REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%
• PATIO TO BE REPLACED TO NEW GRADE

FUTURE - PARKING SCHEDULE

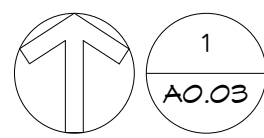
TYPE	COUNT
9'-0" X 20'-0" at 90° with Stop	18
12'-0" X 20'-0" (5'-0" Aisle) at 90° with Stop	15
Grand total: 93	



GENERAL NOTES:

- (A) REPLACE AND UPGRADE EXISTING PLUMBING LINES UNDER EACH BUILDING/UNIT
(B) ADD SPRAY FOAM CLOSED-CELL INSULATION OF MIN R-30 VALUE TO UNDERSIDE OF FLOORS IN EACH BUILDING/UNIT
(C) ADD BLOWN-IN ATTIC INSULATION OF MIN R-30 VALUE IN EACH BUILDING/UNIT
(D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS
(E) REPLACE EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS WITH SEPERATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION)
(F) REPLACE DAMAGED CONCRETE SIDEWALKS AND WIDEN TO 4'-0" WIDE (MINIMUM). ADD NEW CONCRETE SIDEWALKS/CURBS ALONG RE-SURFACED PARKING AND ROADWAYS - ACCOMMODATE ADA ACCESSIBLE ROUTES
(G) RESURFACE, SEAL, AND RE-STRIPE EXISTING PARKING AND ROADWAY AREAS. EXPAND ENTRANCE WIDTH TO EXISTING CURB-CUT FLARE WIDTH
(H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOARD MATERIALS
(I) 2" DIAMETER P.V.C. SLEEVES FOR FUTURE LANDSCAPE AND IRRIGATION TO BE PLACED UNDER ROADWAY, PARKING, AND SIDEWALKS
(K) REPLACE EXISTING 1 1/2" DIAMETER COPER DOMESTIC WATER MAIN LINE LOCATED IN CRAWL SPACE WITH NEW. INCLUDE REPAIEMENT OF CONNECTORS AND SHUT-OFF VALES TO EACH UNIT AND INCLUDE REPLACEMENT OF ALL CONNECTORS FROM COPPER LINE TO EACH EXISTING VERTICAL 1/2" PEX LINE.
(L) REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS (FIELD VERIFY SIZE, QUANTITY). ALL BEDROOM WINDOWS ARE TO MEET EGRESS STANDARDS DEPICTED IN SECTION 1030 AND SATISFY DIMENSIONS DEPICTED IN 1030.2 OF THE 2011 FLORIDA BUILDING CODE

FUTURE - SITE PLAN



1" = 20'-0"

PRE-FABRICATED ALUMINUM RAMP SYSTEM UNIT PRICE SCHEDULE:

TAG:	DESCRIPTION:
FPR 12'	12' LONG PRE-FABRICATED ALUMINUM RAMP SYSTEM
FPR 14'	14' LONG PRE-FABRICATED ALUMINUM RAMP SYSTEM
FPR 16'	16' LONG PRE-FABRICATED ALUMINUM RAMP SYSTEM
FPR 18'	18' LONG PRE-FABRICATED ALUMINUM RAMP SYSTEM
FPR 20'	20' LONG PRE-FABRICATED ALUMINUM RAMP SYSTEM

CLIENT:



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1918 MACK LEWIS DRIVE
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PROJECT:

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PROJECT 2020

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PANAMA CITY, FL 32405
(850) 769-5278

CONSULTANTS:



SEAL:

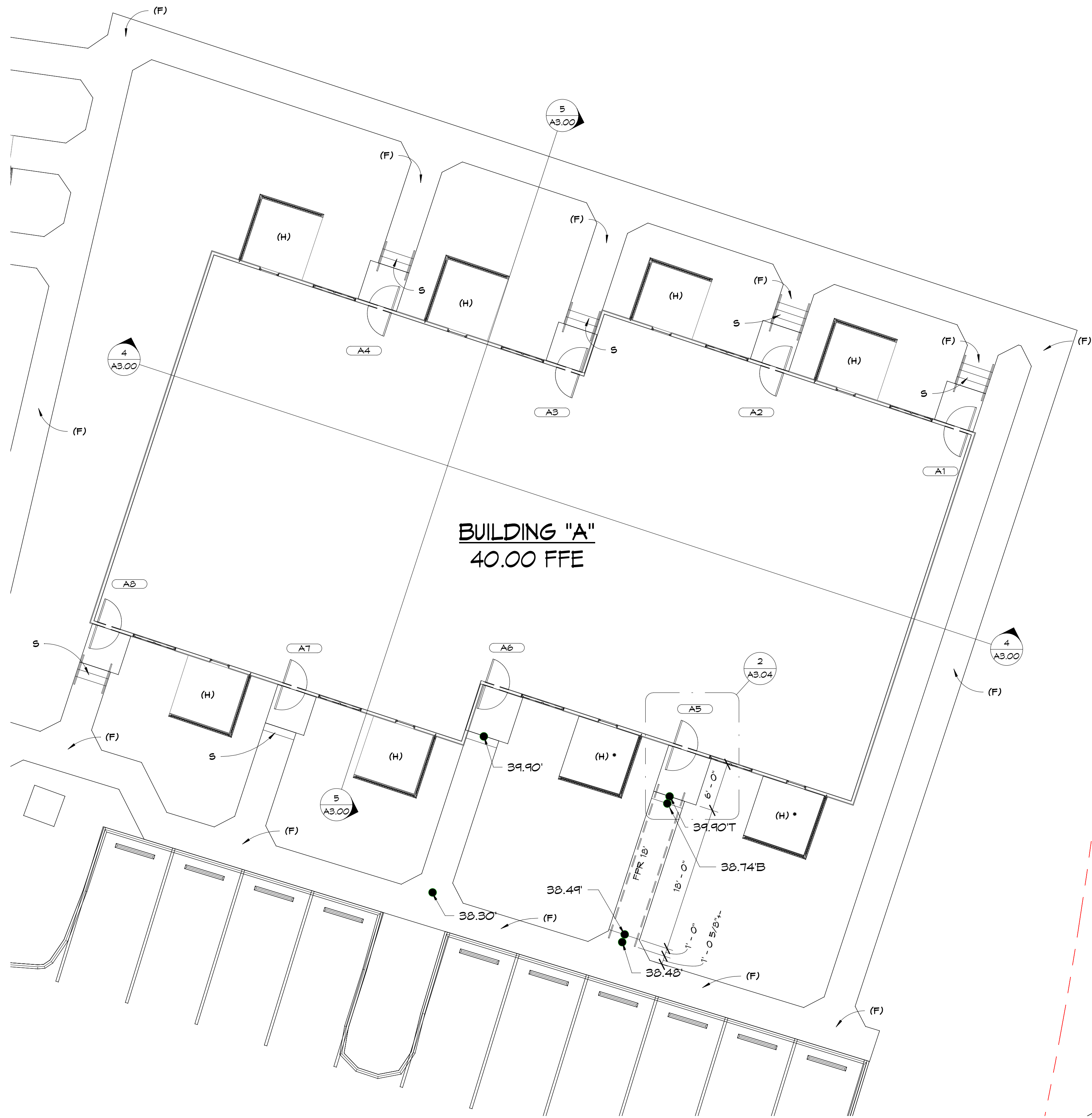
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As indicated	6/18/2020
DRAWN BY:	CHECKED BY:
PRO	MFH

NO.	REVISION:	DATE:
1	REPLACE ENTIRE SHEET	7/1/2020

SHEET TITLE:

ARCHITECTURAL
SITE PLAN



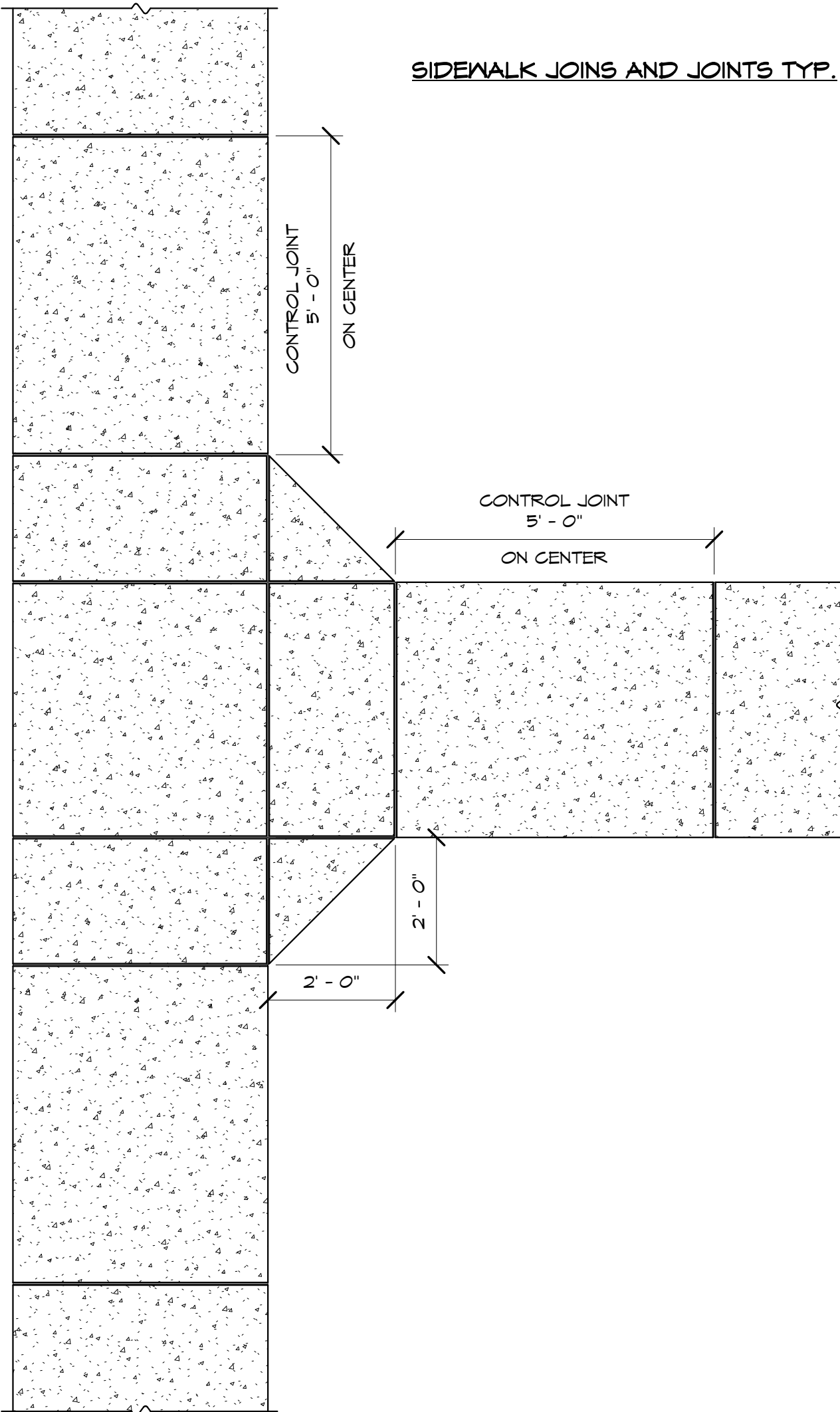
1
A1.01
(A)(B)(C)(D)(E)
(L)

ARCHITECTURAL SITE PLAN - BUILDING "A"

1/8" = 1'-0"

GENERAL SITE LEGEND:	
FPR	FUTURE PORTABLE RAMP
CR	CONCRETE RAMP
S	STEPS
R6	REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%
•	PATIO TO BE REPLACED TO NEW GRADE

- GENERAL NOTES:
- (A) REPLACE AND UPGRADE EXISTING PLUMBING LINES UNDER EACH BUILDING/UNIT
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- (E) REPLACE EXISTING EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS WITH SEPARATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION)
- (F) REPLACE DAMAGED CONCRETE SIDEWALKS AND WIDEN TO 4'-0" WIDE (MINIMUM). ADD NEW CONCRETE SIDEWALKS/CURBS ALONG RE-SURFACED PARKING AND ROADWAYS - ACCOMMODATE ADA ACCESSIBLE ROUTES
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- (H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOARD MATERIALS
- (J) 2" DIAMETER PVC SLEEVES FOR FUTURE LANDSCAPE AND IRRIGATION TO BE PLACED UNDER ROADWAY, PARKING, AND SIDEWALKS
- (K) REPLACE EXISTING 1 1/2" DIAMETER COPPER DOMESTIC WATER MAIN LINE LOCATED IN GRAVEL SPACE WITH NEW INCLUDE REPLACEMENT OF CONNECTORS AND SHUT-OFF VALES TO EACH UNIT AND INCLUDE REPLACEMENT OF ALL CONNECTORS FROM COPPER LINE TO EACH EXISTING VERTICAL 1/2" PEX LINE
- (L) REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS (FIELD VERIFY SIZE, QUANTITY). ALL BEDROOM WINDOWS ARE TO MEET EGRESS STANDARDS DEPICTED IN SECTION 1030 AND SATISFY DIMENSIONS DEPICTED IN 1030.2 OF THE 2011 FLORIDA BUILDING CODE



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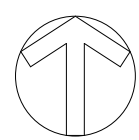
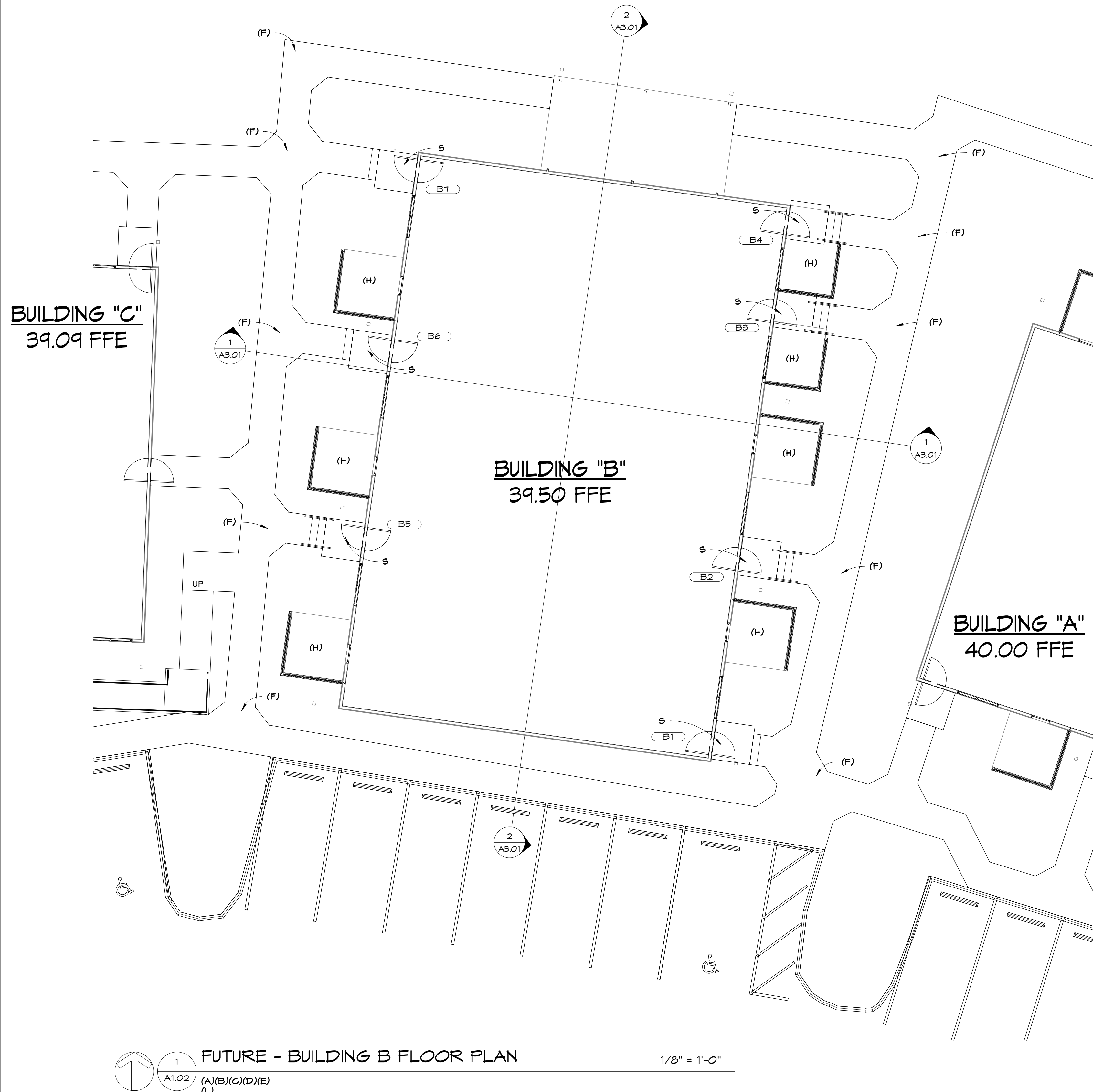
CONSULTANTS:
 Dewberry

SEAL:

BID SET

NO.	REVISION:	DATE:
1	REPLACE ENTIRE SHEET	7/1/2020

SHEET TITLE:
ARCHITECTURAL
SITE PLAN
BUILDING A



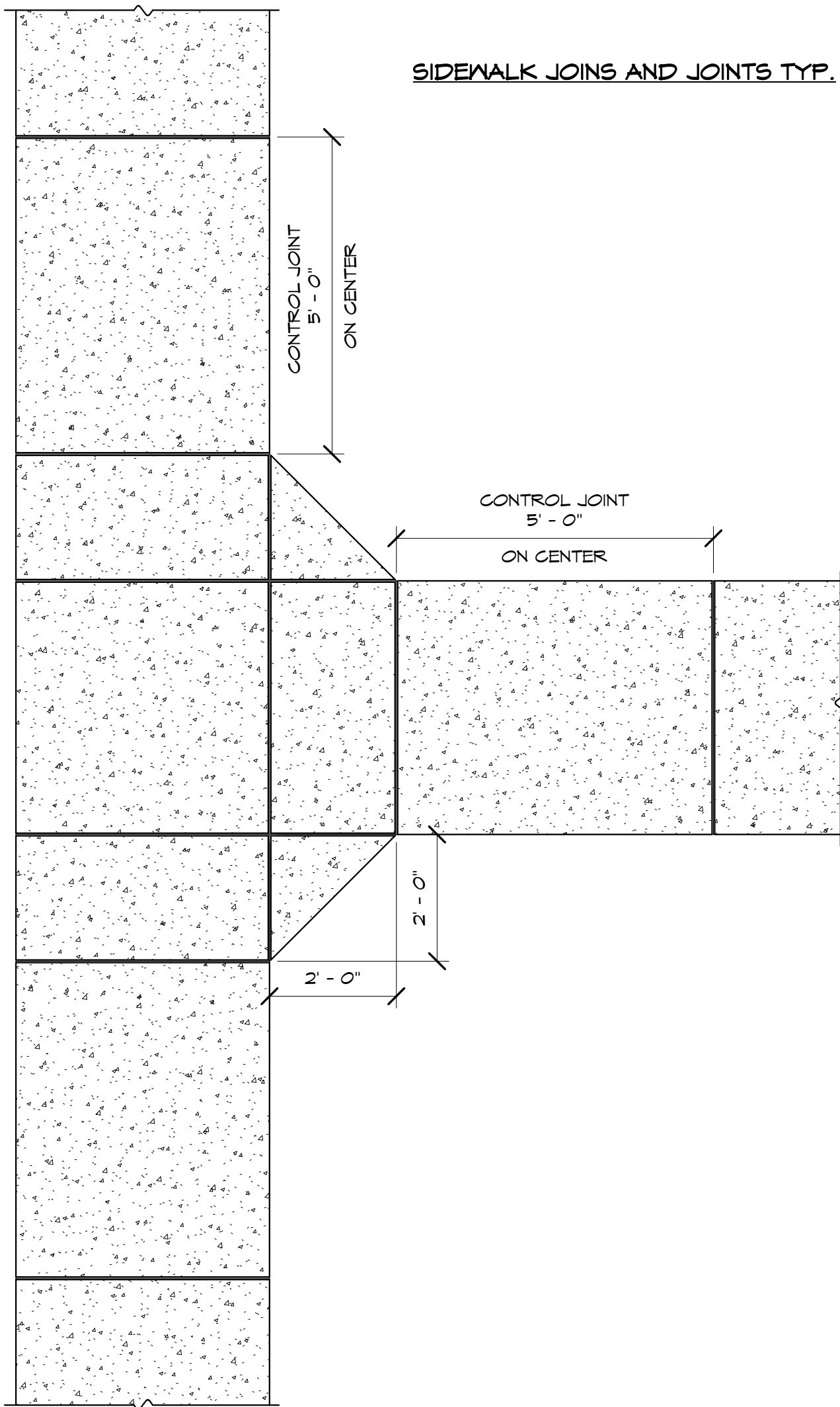
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A1.02

FUTURE - BUILDING B FLOOR PLAN
(A)(B)(C)(D)(E)
(L)

1/8" = 1'-0"

GENERAL SITE LEGEND:	
FPR	FUTURE PORTABLE RAMP
CR	CONCRETE RAMP
S	STEPS
RG	REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%
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PROJECT:
NORTHGATE TERRACE II
IMPROVEMENTS
PROJECT 2020

1915 WILSON AVENUE,
PANAMA CITY, FL 32405
(850) 769-5278

CONSULTANTS:
 Dewberry

SEAL:

BID SET

SCALE:		DATE:	
As Indicated		6/18/2020	
DRAWN BY:		CHECKED BY:	
PRO		MFH	
NO.	REVISION:		DATE:
1	REPLACE ENTIRE SHEET		7/1/20

SHEET TITLE:
ARCHITECTURAL
SITE PLAN
BUILDING B



NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

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PANAMA CITY, FLORIDA 32405
(850) 769-5278

BID SET

JUNE 18, 2020
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REPLACE ALL SHEETS

PROJECT DETAILS:



GENERAL SYMBOLS			
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	DETAIL REFERENCE	79.0	NEW OR FINISH POINT ELEVATION
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INDEX OF DRAWINGS:

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CIVIL	
SHEET NUMBER	SHEET NAME
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C1.00	GENERAL NOTES
C2.00	SWPPP
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C6.00	GRADING PLAN
C7.00	MISC.

PROJECT DIRECTORY:

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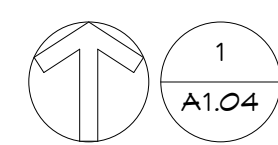
CONSULTANTS:
Dewberry

SEAL:

BID SET

SCALE:		DATE:	
6" = 1'-0"		6/18/2020	
DRAWN BY:		CHECKED BY:	
PRO		MFH	
NO.	REVISION:		DATE:
1	REPLACE ENTIRE SHEET		7/1/2020

SHEET TITLE:
COVER SHEET



(A)(B)(C)(D)(E)
(L)

$$1/8'' = 1'-0''$$


SEAL: _____

QID SET

SCALE:	DATE:
As indicated	6/18/2020
DRAWN BY:	CHECKED BY:
PRO / MFH	MFH

NO.	REVISION:	DATE:
1	REPLACE ENTIRE SHEET	7/1/2020

HEET TITLE:

ARCHITECTURAL
SITE PLAN
BUILDING D

PROJECT NO.	SHEET NO.
47-09	A1.04

103 WEST 5TH STREET
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CLIENT:



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NORTHGATE TERRACE II
IMPROVEMENTS
PROJECT 2020

1915 WILSON AVENUE,
PANAMA CITY, FL 32405
(850) 769-5278

CONSULTANTS:



SEAL:

QID SET

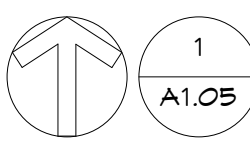
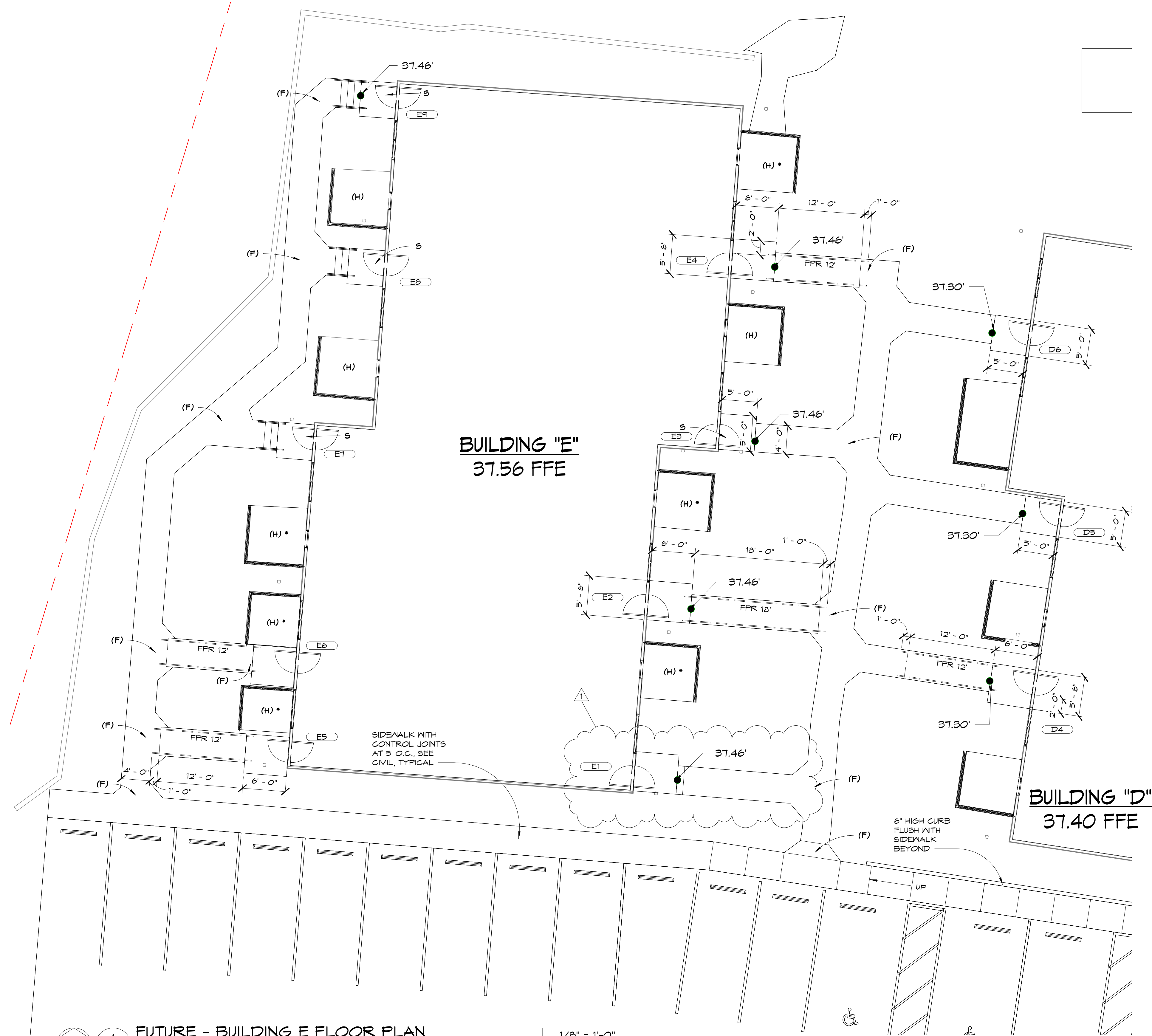
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PRO / MFH	MFH

NO.	REVISION:	DATE:
1	REPLACE ENTIRE SHEET	7/1/2020

HEET TITLE:

ARCHITECTURAL
SITE PLAN
BUILDING D

PROJECT NO.	SHEET NO.
47-09	A1.04



FUTURE - BUILDING E FLOOR PLAN
(A)(B)(C)(D)(E)
(L)

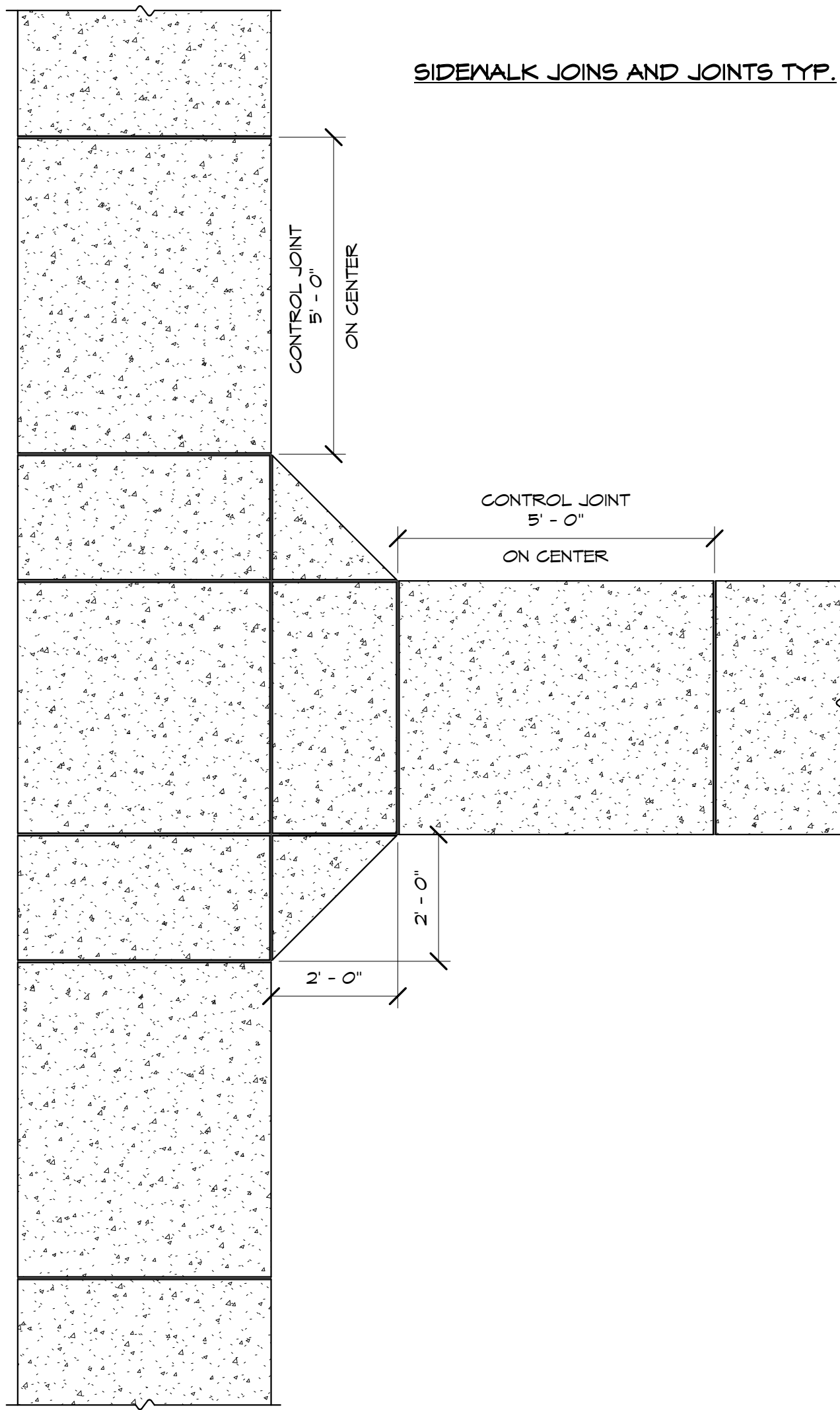
1/8" = 1'-0"

GENERAL SITE LEGEND:

- FPR FUTURE PORTABLE RAMP
- CR CONCRETE RAMP
- S STEPS
- R&G REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%
- PATIO TO BE REPLACED TO NEW GRADE

GENERAL NOTES:

- (A) REPLACE AND UPGRADE EXISTING PLUMBING LINES UNDER EACH BUILDING/UNIT
- (B) ADD SPRAY FOAM CLOSED-CELL INSULATION OF MIN R-30 VALUE TO UNDERSIDE OF FLOORS IN EACH BUILDING/UNIT
- (C) ADD BLOWN-IN ATTIC INSULATION OF MIN R-30 VALUE IN EACH BUILDING/UNIT
- (D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS
- (E) REPLACE EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS WITH SEPARATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION)
- (F) REPLACE DAMAGED CONCRETE SIDEWALKS AND WIDEN TO 4'-0" WIDE (MINIMUM). ADD NEW CONCRETE SIDEWALKS/CURBS ALONG RE-SURFACED PARKING AND ROADWAYS - ACCOMMODATE ADA ACCESSIBLE ROUTES
- (G) RESURFACE, SEAL, AND RE-STRIPE EXISTING PARKING AND ROADWAY AREAS. EXPAND ENTRANCE WIDTH TO EXISTING CURB-CUT FLARE WIDTH
- (H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOARD MATERIALS
- (J) 2" DIAMETER FVG SLEEVES FOR FUTURE LANDSCAPE AND IRRIGATION TO BE PLACED UNDER ROADWAY, PARKING, AND SIDEWALKS
- (K) REPLACE EXISTING 1 1/2" DIAMETER COPPER DOMESTIC WATER MAIN LINE LOCATED IN GRAVEL SPACE WITH NEW. INCLUDE REPAIRMENT OF CONNECTORS AND SHUT-OFF VALES TO EACH UNIT AND INCLUDE REPLACEMENT OF ALL CONNECTORS FROM COPPER LINE TO EACH EXISTING VERTICAL 1/2" PEX LINE
- (L) REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS (FIELD VERIFY SIZE, QUANTITY). ALL BEDROOM WINDOWS ARE TO MEET EGRESS STANDARDS DEPICTED IN SECTION 1030 AND SATISFY DIMENSIONS DEPICTED IN 1030.2 OF THE 2017 FLORIDA BUILDING CODE



103 WEST 5TH STREET
PANAMA CITY, FL 32401
(850) 257-5400



PANAMA CITY HOUSING
AUTHORITY
1918 MACK LEWIS DRIVE
PANAMA CITY, FL 32401

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IMPROVEMENTS
PROJECT 2020

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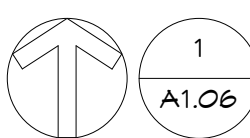
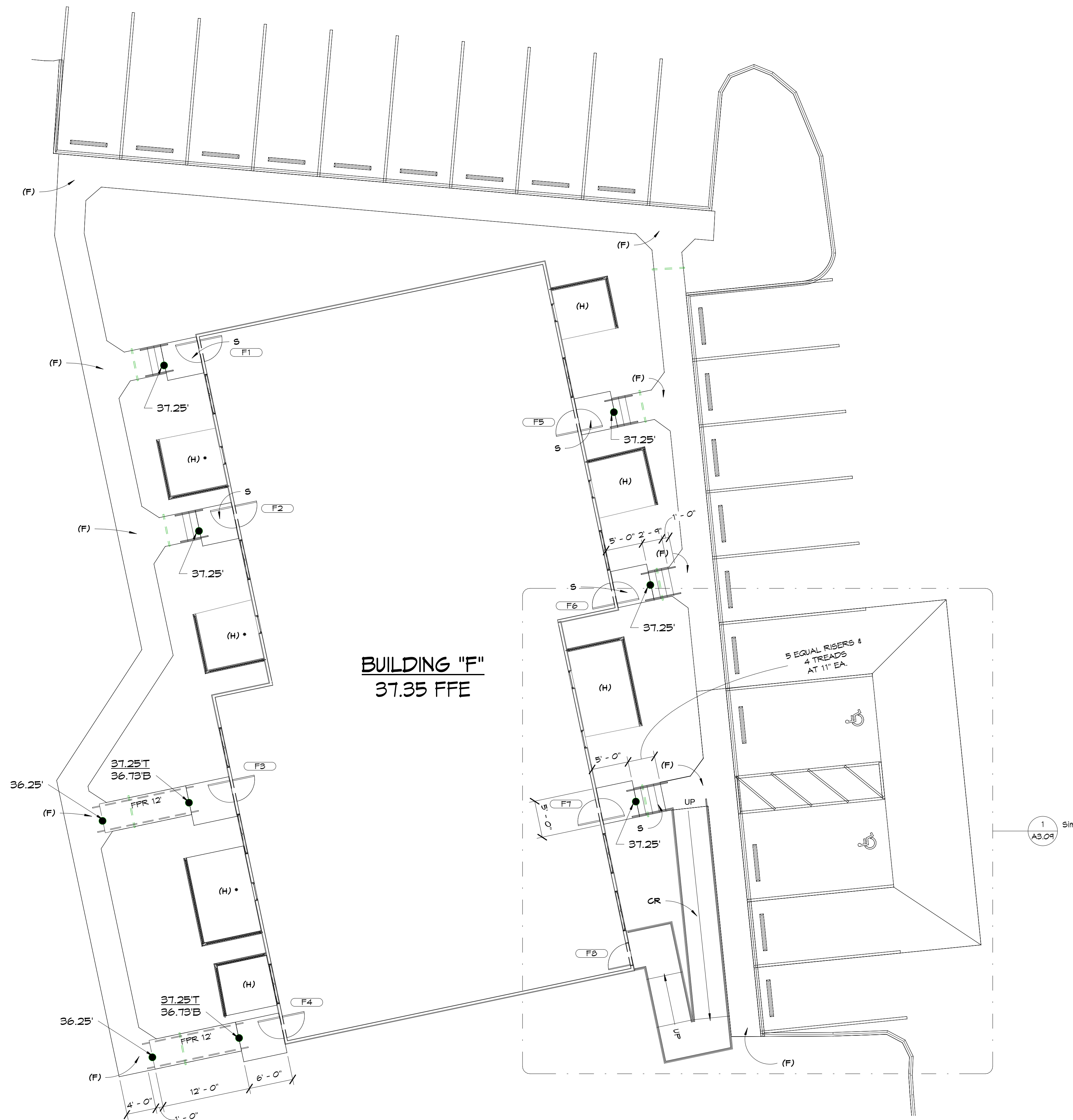
CONSULTANTS:
 Dewberry

SEAL:

BID SET

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PRO		MFH	
NO.	REVISION:		DATE:
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SHEET TITLE:
ARCHITECTURAL
SITE PLAN
BUILDING E



FUTURE - BUILDING F FLOOR PLAN

(A)(B)(C)(D)(E)
(L)

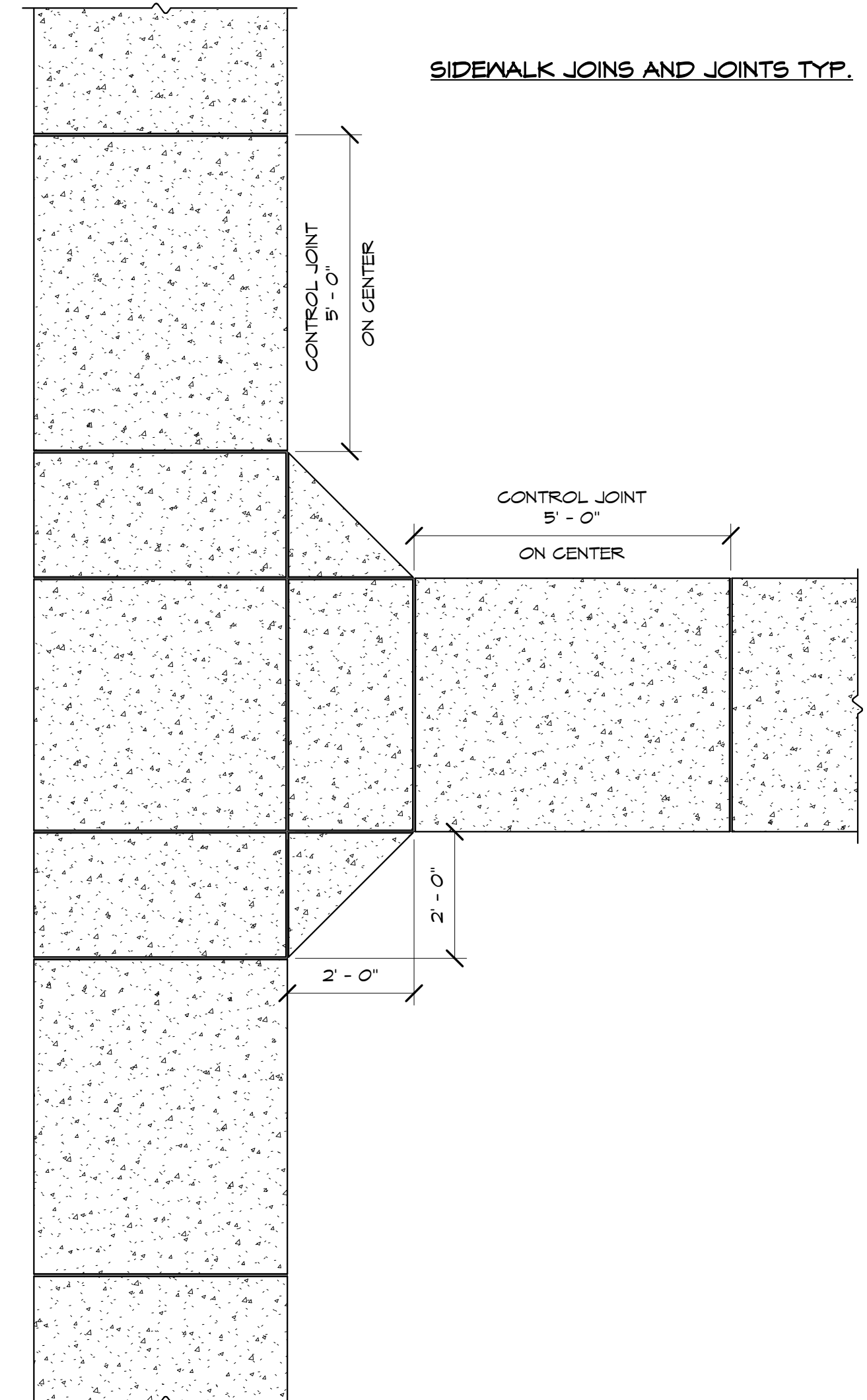
1/8" = 1'-0"

GENERAL SITE LEGEND:

- FPR FUTURE PORTABLE RAMP
- CR CONCRETE RAMP
- S STEPS
- R6 REGRADE SLOPED SIDEWALK UP TO 5X5' LANDING NO RAMP < 5%
- PATIO TO BE REPLACED TO NEW GRADE

GENERAL NOTES:

- (A) REPLACE AND UPGRADE EXISTING PLUMBING LINES UNDER EACH BUILDING/UNIT
- (B) ADD SPRAY FOAM CLOSED-CELL INSULATION OF MIN R-30 VALUE TO UNDERSIDE OF FLOORS IN EACH BUILDING/UNIT
- (C) ADD BLOWN-IN ATTIC INSULATION OF MIN R-30 VALUE IN EACH BUILDING/UNIT
- (D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS
- (E) REPLACE EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS WITH SEPERATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION)
- (F) REPLACE DAMAGED CONCRETE SIDEWALKS AND WIDEN TO 4'-0" WIDE (MINIMUM). ADD NEW CONCRETE SIDEWALKS/CURBS ALONG RE-SURFACED PARKING AND ROADWAYS - ACCOMMODATE ADA ACCESSIBLE ROUTES
- (G) RESURFACE, SEAL, AND RE-STRIPE EXISTING PARKING AND ROADWAY AREAS. EXPAND ENTRANCE WIDTH TO EXISTING CURB-CUT FLARE WIDTH
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- (J) 2" DIAMETER PVC SLEEVES FOR FUTURE LANDSCAPE AND IRRIGATION TO BE PLACED UNDER ROADWAY, PARKING, AND SIDEWALKS
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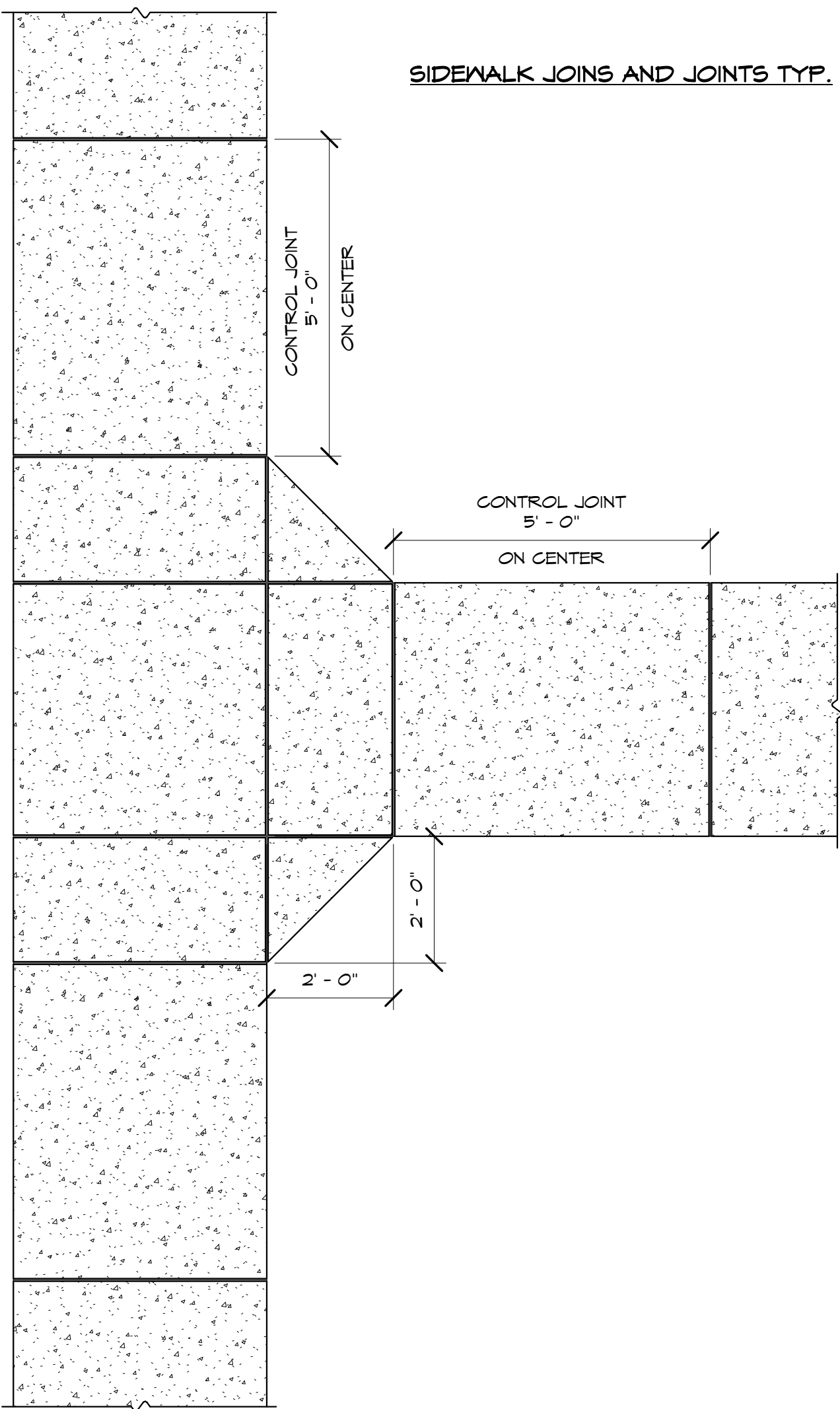
SHEET TITLE:
ARCHITECTURAL
SITE PLAN
BUILDING F



1
A1.07
FUTURE - BUILDING G FLOOR PLAN
(A)(B)(C)(D)(E)
(L)
1/8" = 1'-0"

GENERAL SITE LEGEND:	
FPR	FUTURE PORTABLE RAMP
CR	CONCRETE RAMP
S	STEPS
RG	REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%
•	PATIO TO BE REPLACED TO NEW GRADE

- GENERAL NOTES:
- (A) REPLACE AND UPGRADE EXISTING PLUMBING LINES UNDER EACH BUILDING/UNIT
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- (G) RESURFACE, SEAL, AND RE-STRIFE EXISTING PARKING AND ROADWAY AREAS. EXPAND ENTRANCE WIDTH TO EXISTING CURB-CUT FLARE WIDTH
- (H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOARD MATERIALS
- (J) 2' DIAMETER PVC SLEEVES FOR FUTURE LANDSCAPE AND IRRIGATION TO BE PLACED UNDER ROADWAY, PARKING, AND SIDEWALKS
- (K) REPLACE EXISTING 1 1/2" DIAMETER COPER DOMESTIC WATER MAIN LINE LOCATED IN CRAWL SPACE WITH NEW. INCLUDE REFAGE MENT OF CONNECTORS AND SHUT-OFF VALES TO EACH UNIT AND INCLUDE REPLACEMENT OF ALL CONNECTORS FROM COPER LINE TO EACH EXISTING VERTICAL 1/2" FLEX LINE
- (L) REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS (FIELD VERIFY SIZE, QUANTITY). ALL BEDROOM WINDOWS ARE TO MEET EGRESS STANDARDS DEPICTED IN SECTION 1030 AND SATISFY DIMENSIONS DEPICTED IN 1030.2 OF THE 2017 FLORIDA BUILDING CODE



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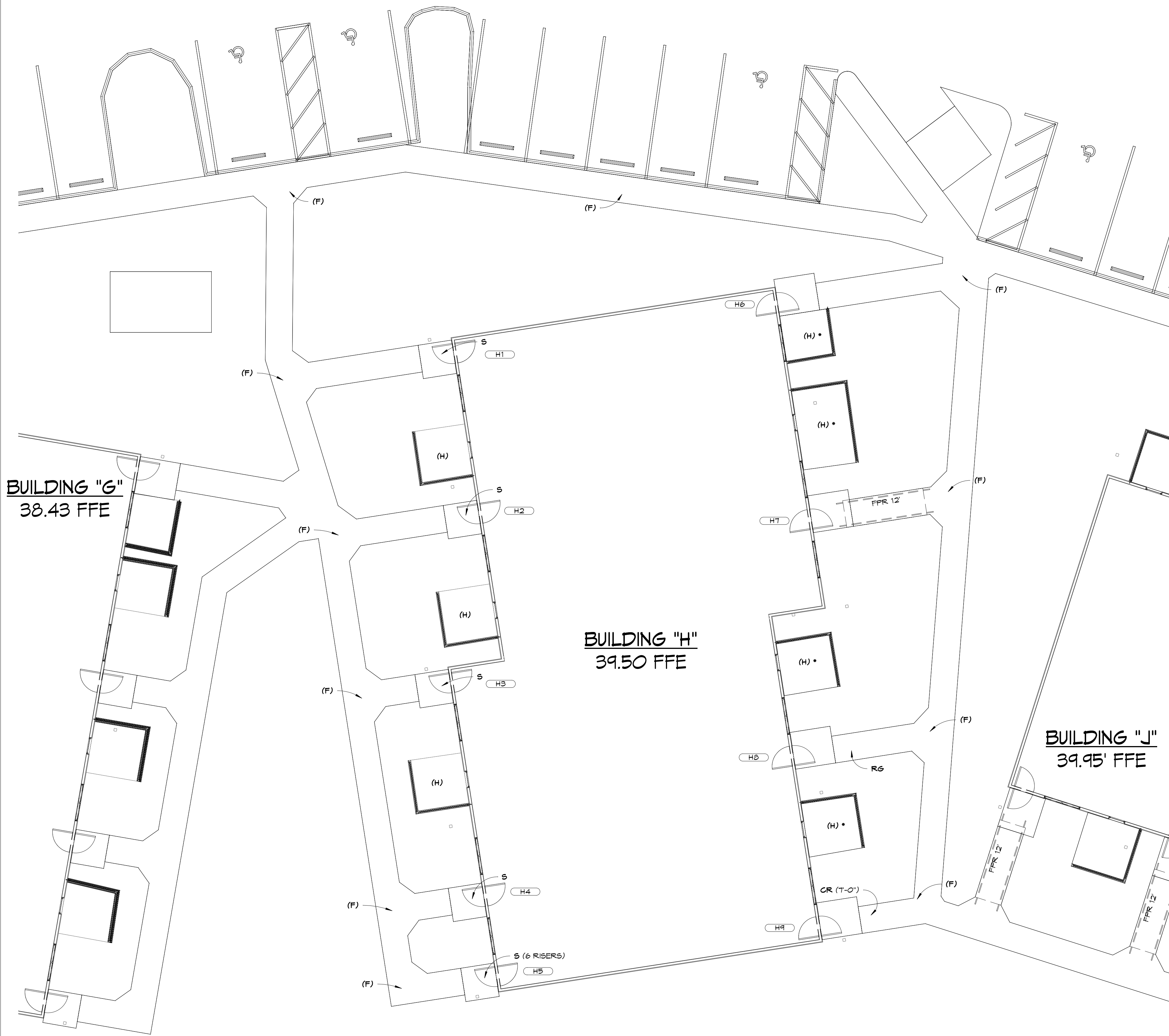
CONSULTANTS:
 Dewberry

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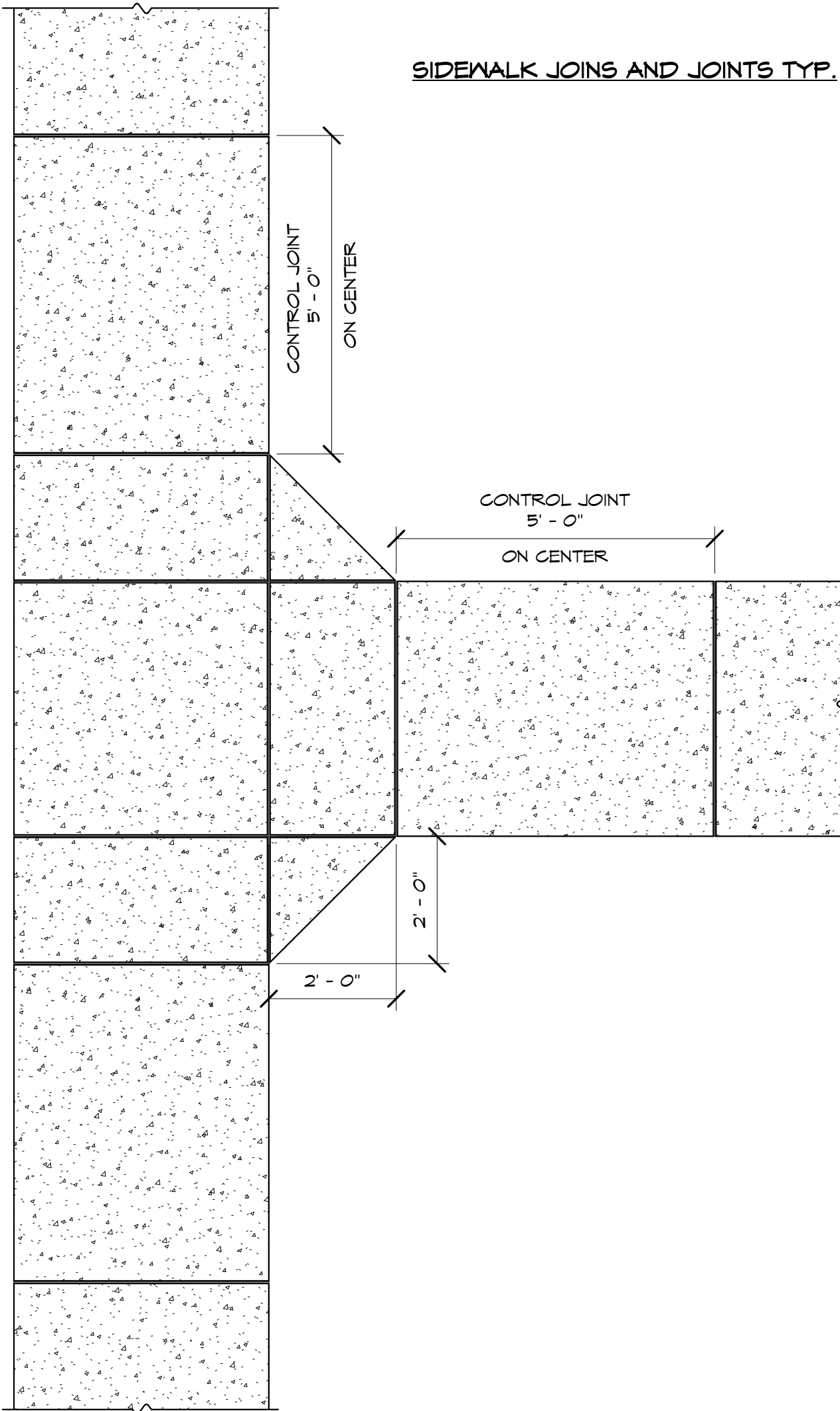
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SHEET TITLE:
ARCHITECTURAL
SITE PLAN
BUILDING G



GENERAL SITE LEGEND:	
FPR	FUTURE PORTABLE RAMP
CR	CONCRETE RAMP
S	STEPS
R6	REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%
•	PATIO TO BE REPLACED TO NEW GRADE

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NOTE:
SEE SHEET A1.09 AND A1.07
FOR DETAILED INFORMATION

BUILDING "H"
39.50' FFE

BUILDING "J"
39.95' FFE

FUTURE - BUILDING J FLOOR PLAN

(A)(B)(C)(D)(E)
(L)

1/8" = 1'-0"

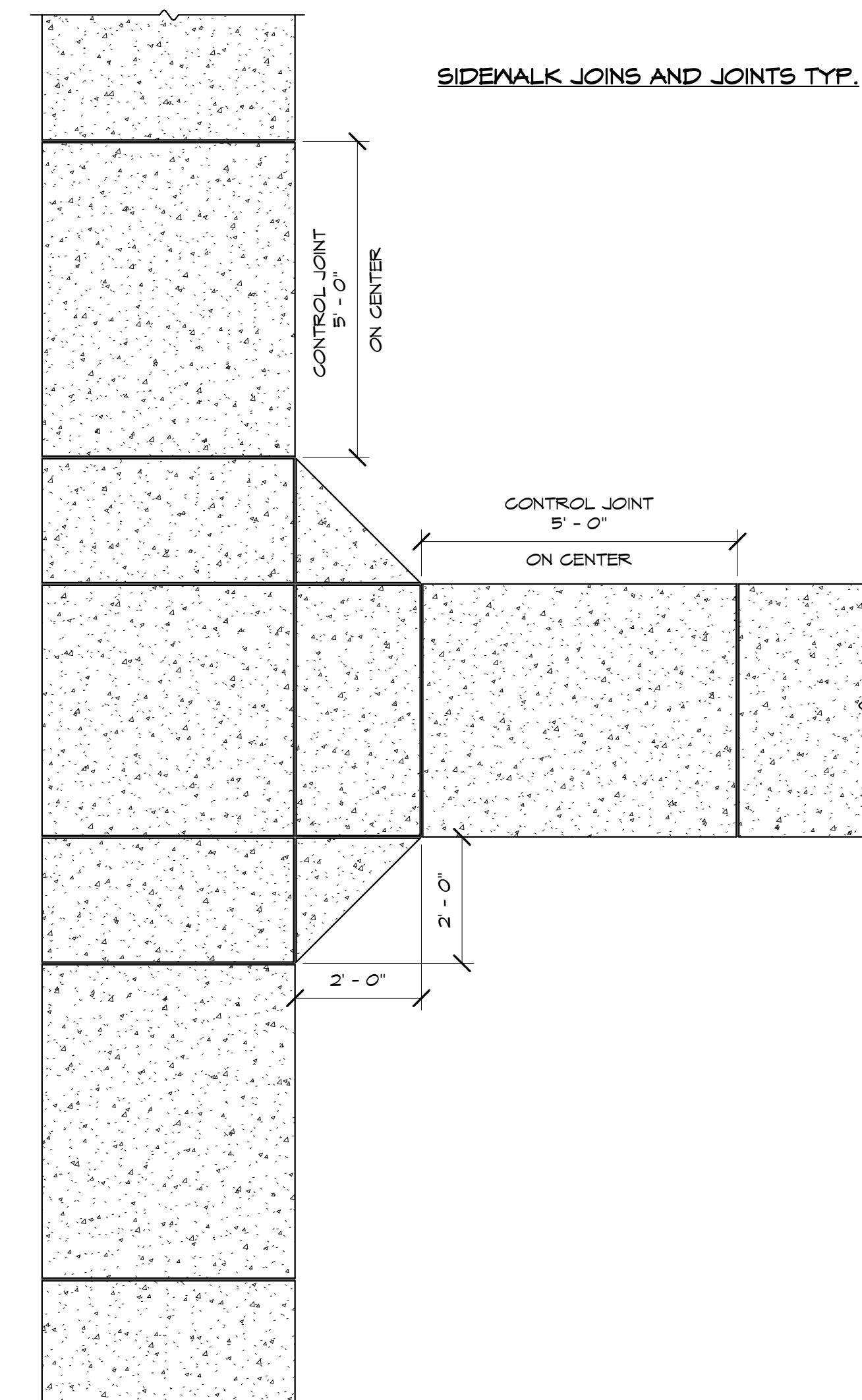
GENERAL SITE LEGEND:

FPR	FUTURE PORTABLE RAMP
CR	CONCRETE RAMP
S	STEPS
RG	REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%
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SIDEWALK JOINS AND JOINTS TYP.



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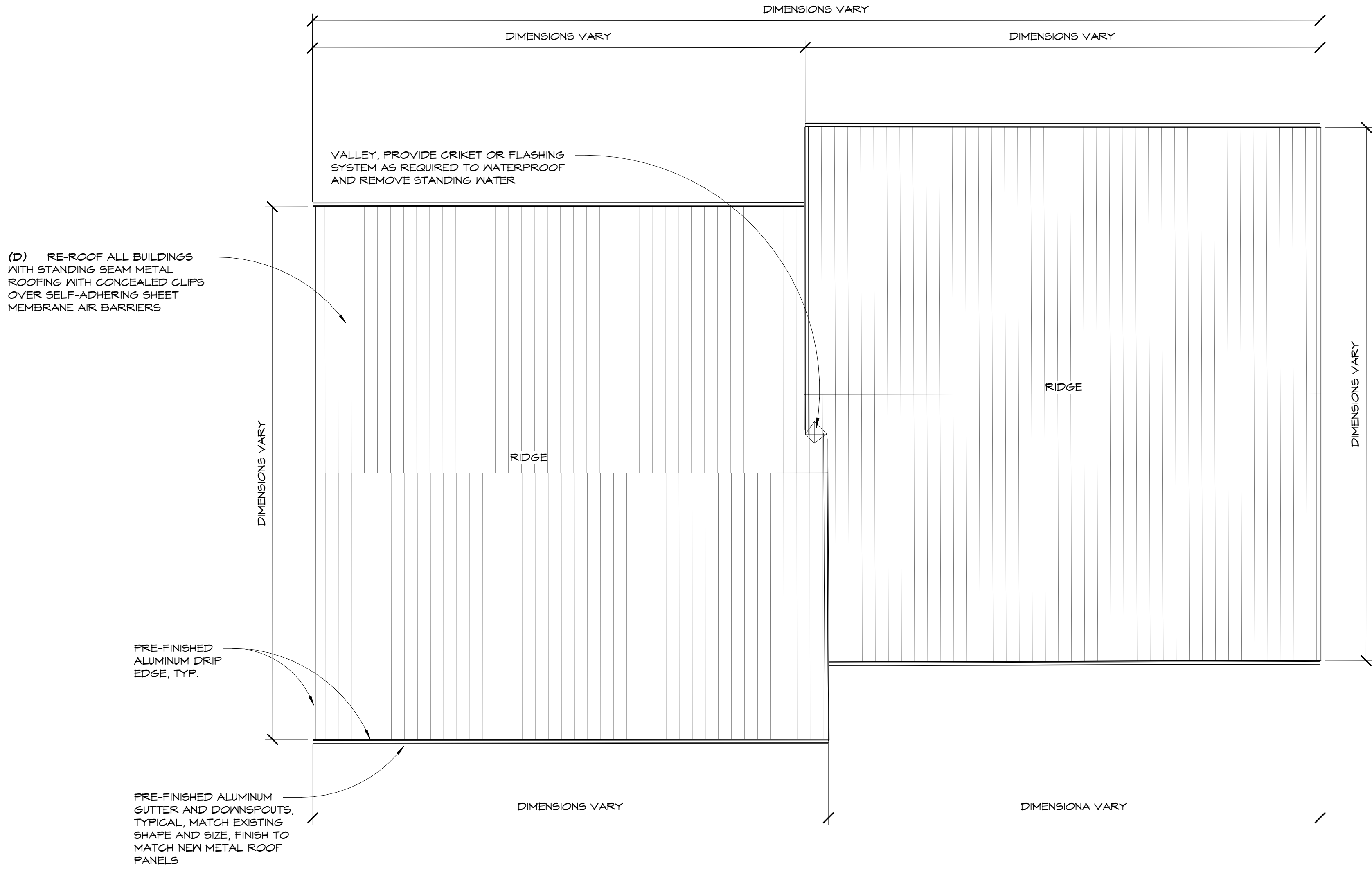
CONSULTANTS:

SEAL:

BID SET

SHEET TITLE:

ARCHITECTURAL
SITE PLAN
BUILDING J



1

A1.10

ROOF PLAN BUILDING "A"

(BUILDINGS "D", "E", "F" AND "H" ARE SIMILAR, DIMENSIONS VARY, FIELD VERIFY)

1/8" = 1'-0"

FLA

FLORIDA ARCHITECTS

LICENSE #AA0002730

103 WEST 5TH STREET

PANAMA CITY, FL 32401

(850) 257-5400

CLIENT:

PCHA

PANAMA CITY HOUSING AUTHORITY

PANAMA CITY HOUSING AUTHORITY

1918 MACK LEWIS DRIVE

PANAMA CITY, FL 32401

PROJECT:

NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:

Dewberry

SEAL:

BID SET

SCALE:	DATE:	
1/8" = 1'-0"	6/18/2020	
DRAWN BY:	CHECKED BY:	
PRO	MFH	
NO.	REVISION:	DATE:

SHEET TITLE:

BUILDING TYPE ONE ROOF PLAN

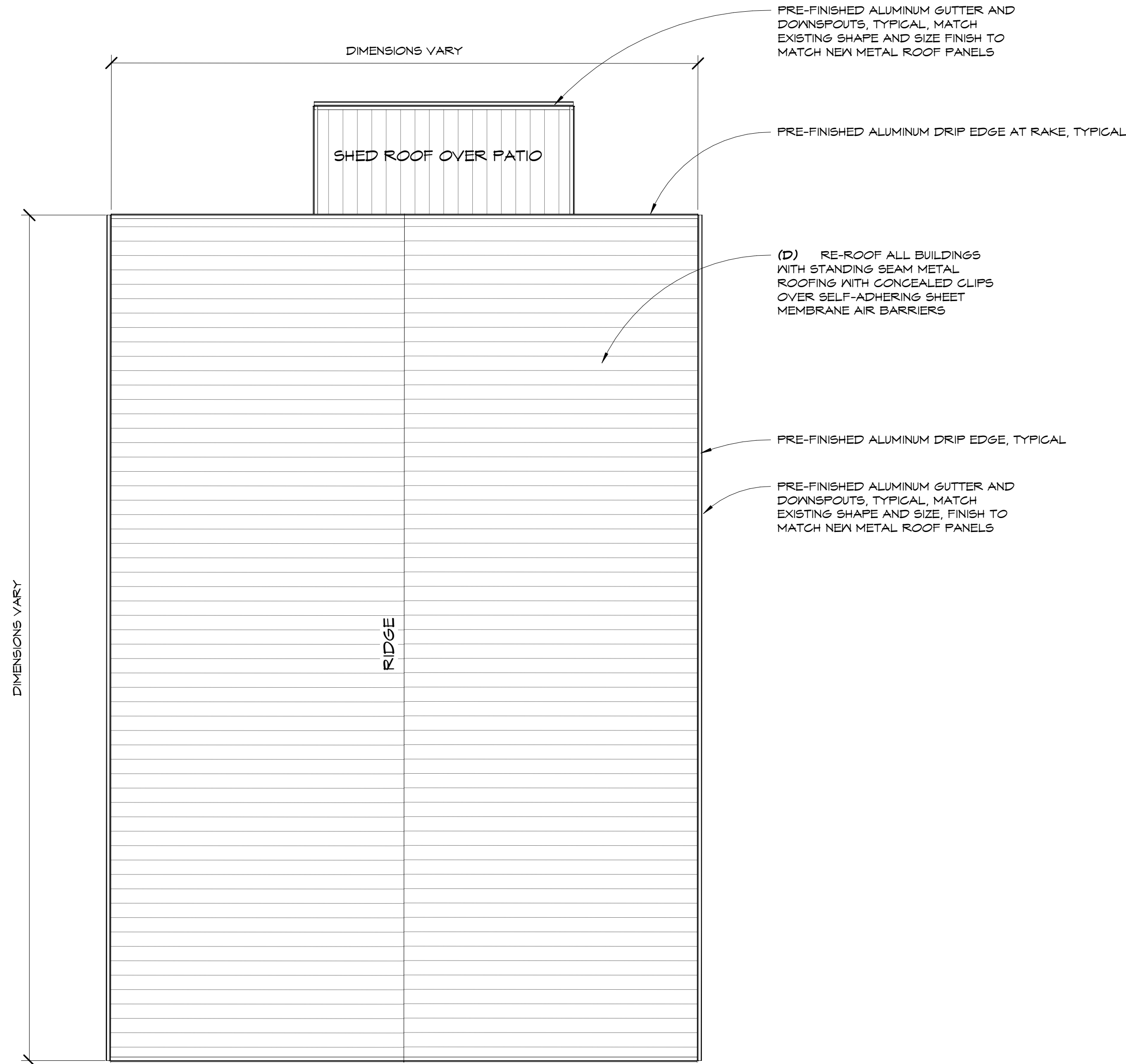
PROJECT NO.

4247-09

SHEET NO.

A1.10


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1
A1.11

BUILDING "B" ROOF PLAN
(BUILDINGS "C", "G" AND "J" ARE SIMILAR, DIMENSIONS VARY, FIELD VERIFY)


1/8" = 1'-0"



FLORIDA ARCHITECTS
LICENSE #AA0002730

103 WEST 5TH STREET
PANAMA CITY, FL 32401
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CLIENT:




PANAMA CITY HOUSING AUTHORITY
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PANAMA CITY, FL 32401

PROJECT:

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PANAMA CITY, FL 32405
(850) 769-5278

CONSULTANTS:



SEAL:

BID SET

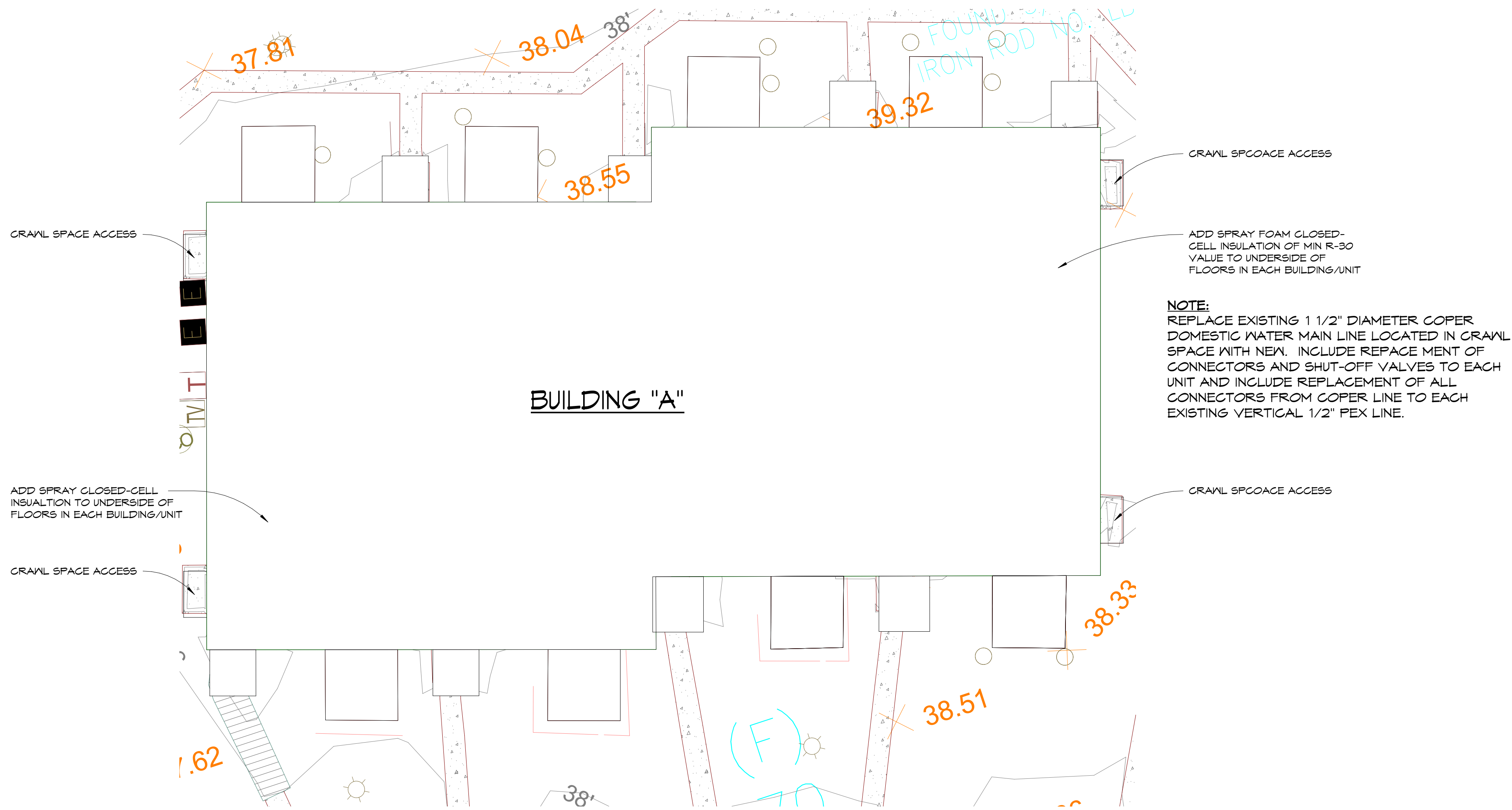
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1/8" = 1'-0"	6/18/2020	
DRAWN BY:	CHECKED BY:	
PRO	MFH	
NO.	REVISION:	DATE:

SHEET TITLE:

BUILDING TYPE TWO ROOF PLAN

PROJECT NO.	SHEET NO.
4247-09	A1.11

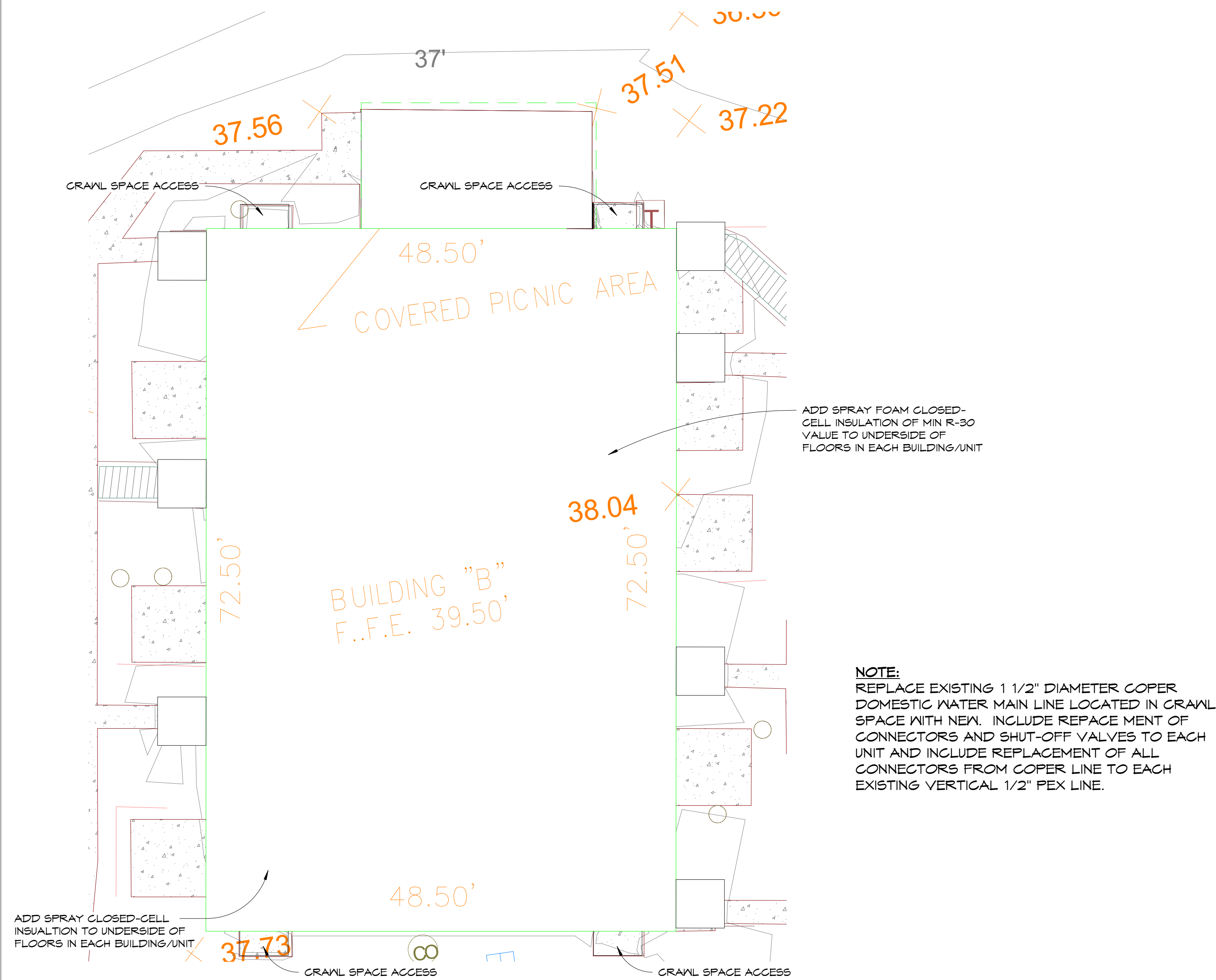
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1
A1.12

FUTURE - BUILDING A CRAWL SPACE PLAN
(BUILDINGS "D", "E", "F" AND "H" ARE SIMILAR, DIMENSIONS VARY, FIELD VERIFY)

1/8" = 1'-0"



1
A1.13

FUTURE - BUILDING B CRAWL SPACE PLAN

(BUILDINGS "C", "G" AND "J" ARE SIMILAR, DIMENSIONS VARY, FIELD VERIFY)

1/8" = 1'-0"

(D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS

(E) REPLACE EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS WITH SEPERATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION)

(L) REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS (FIELD VERIFY SIZE, QUANTITY). ALL BEDROOM WINDOWS ARE TO MEET EGRESS STANDARDS DEPICTED IN SECTION 1030 AND SATISFY DIMENSIONS DEPICTED IN 1030.2 OF THE 2017 FLORIDA BUILDING CODE

(H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOARD MATERIALS

BUILDING A FINISH FLOOR
40'-0"

1
A2.00

BUILDING A - SOUTH

1/8" = 1'-0"

(OTHER SIMILAR BUILDINGS ARE: "D", "E", "F" AND "H" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

(D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS

(H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOAD MATERIALS

BUILDING A FINISH FLOOR
40'-0"

2
A2.00

BUILDING A - EAST

1/8" = 1'-0"

(OTHER SIMILAR BUILDINGS ARE: "D", "E", "F" AND "H" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

(D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS

(E) REPLACE EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS WITH SEPERATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION)

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(H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOARD MATERIALS

BUILDING A FINISH FLOOR
40'-0"

3
A2.00

BUILDING A - NORTH

1/8" = 1'-0"

(OTHER SIMILAR BUILDINGS ARE: "D", "E", "F" AND "H" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

(D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS

(H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOAD MATERIALS

BUILDING A FINISH FLOOR
40'-0"

4
A2.00

BUILDING A - WEST

1/8" = 1'-0"

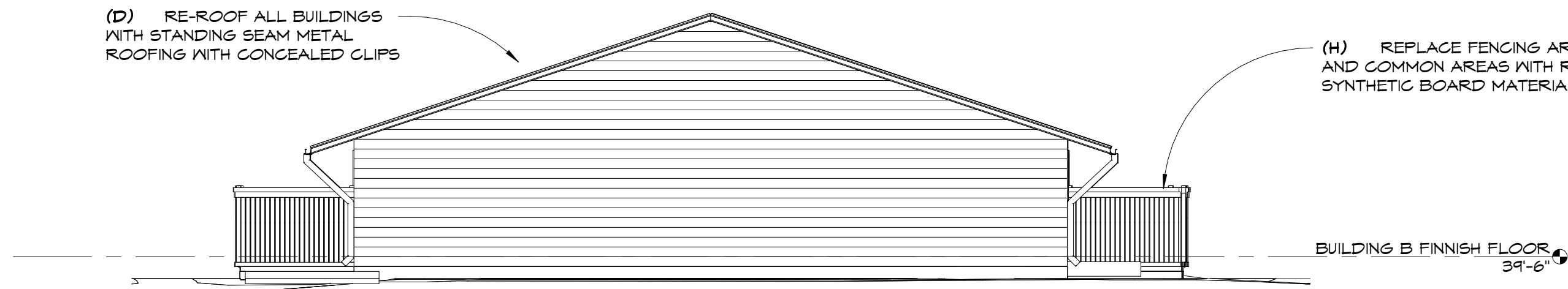
(OTHER SIMILAR BUILDINGS ARE: "D", "E", "F" AND "H" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

SEAL:

BID SET

SCALE: 1/8" = 1'-0"		DATE: 6/18/2020
DRAWN BY: PRO		CHECKED BY: MFH
NO. 1	REVISION: REPLACE ENTIRE SHEET	DATE: 7/1/2020

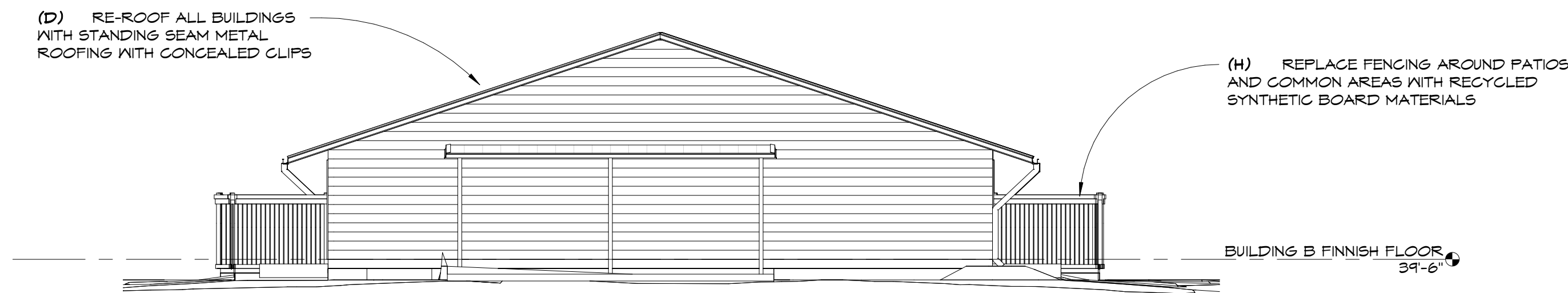
SHEET TITLE:
**BUILDING TYPE
ONE ELEVATIONS**



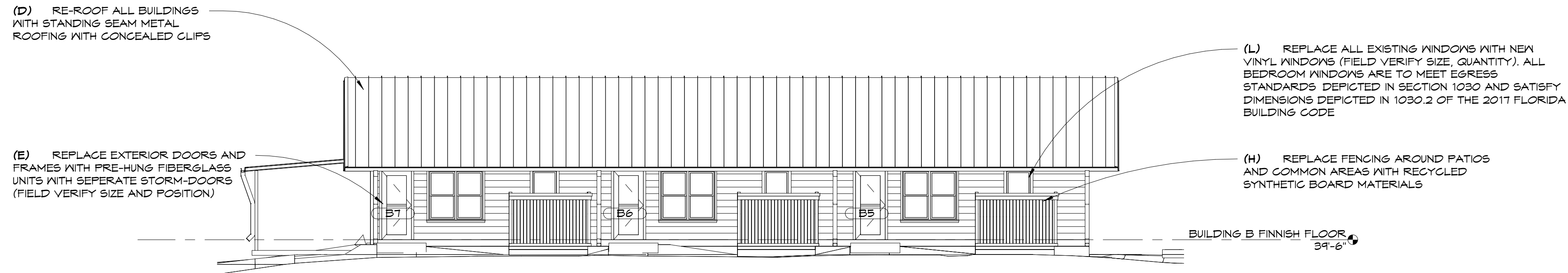
1 BUILDING B - SOUTH
A2.01 (OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J", DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)



2 BUILDING B - EAST
A2.01 (OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

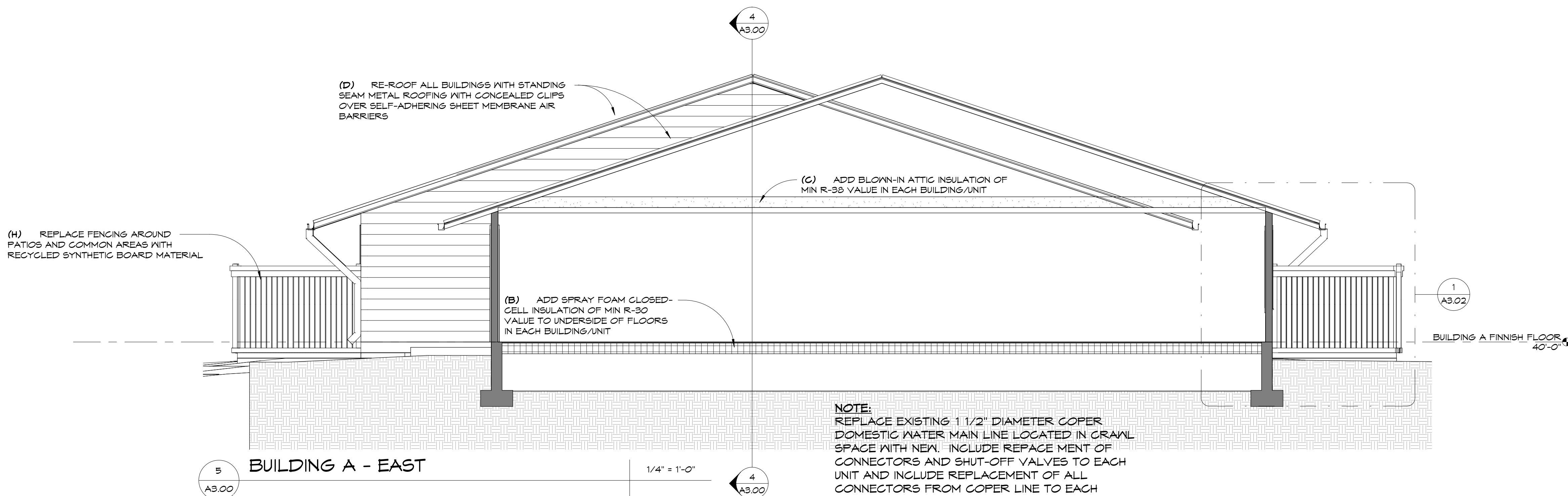
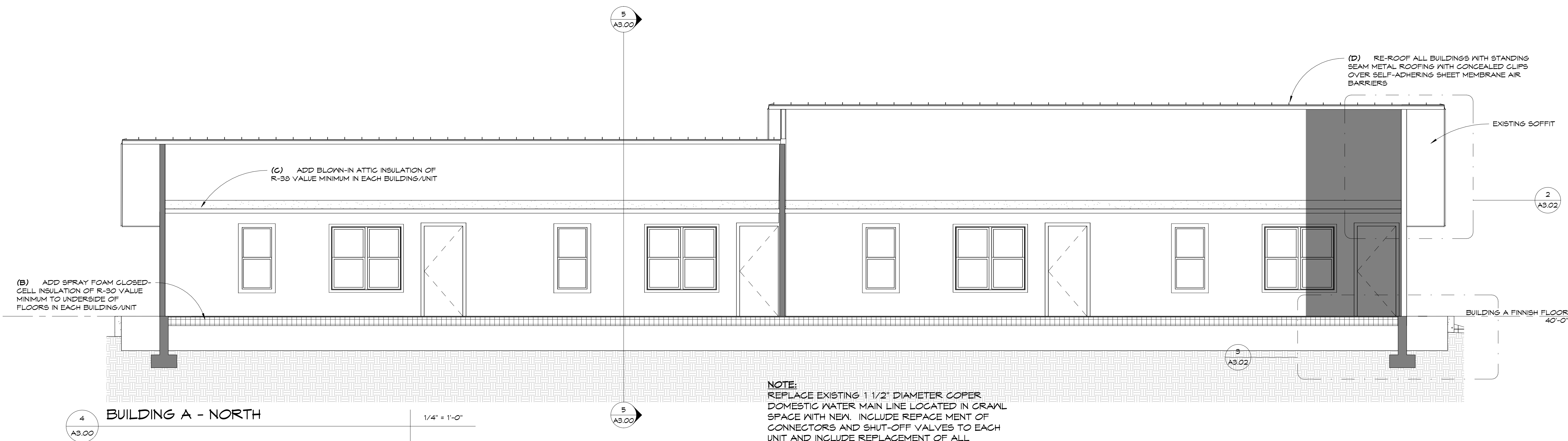


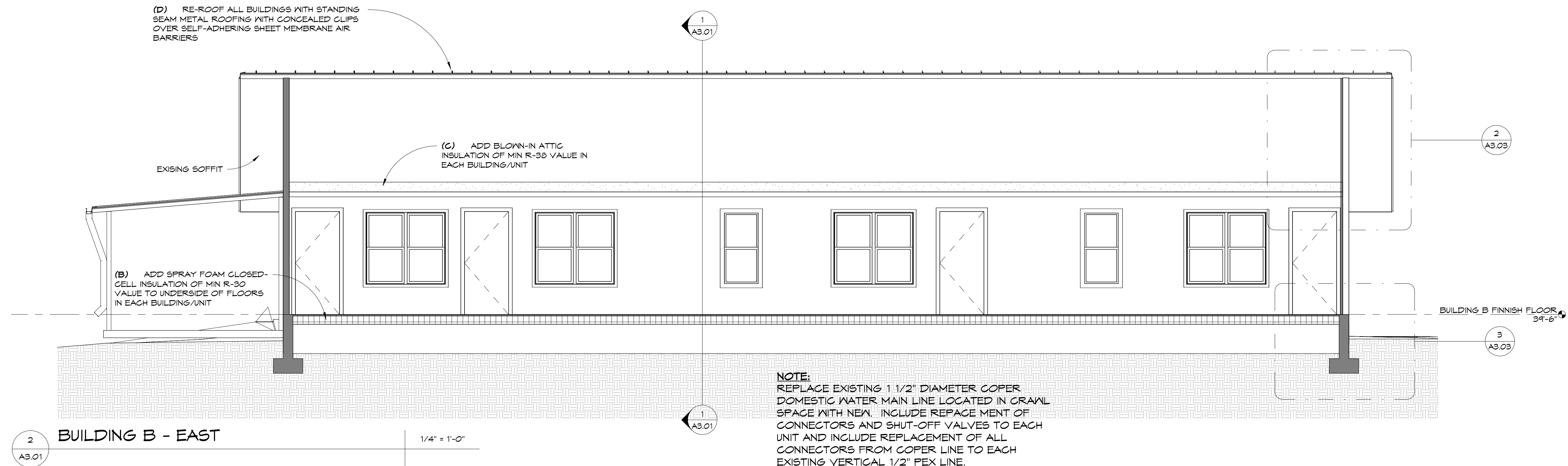
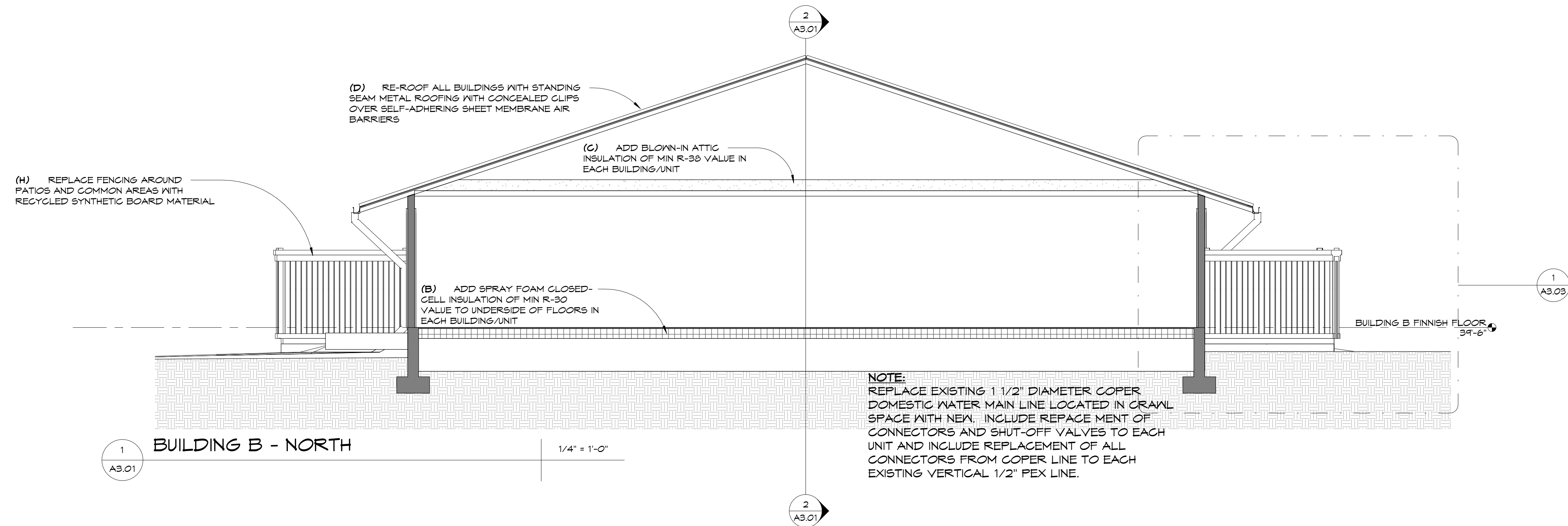
3 BUILDING B - NORTH
A2.01 (OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

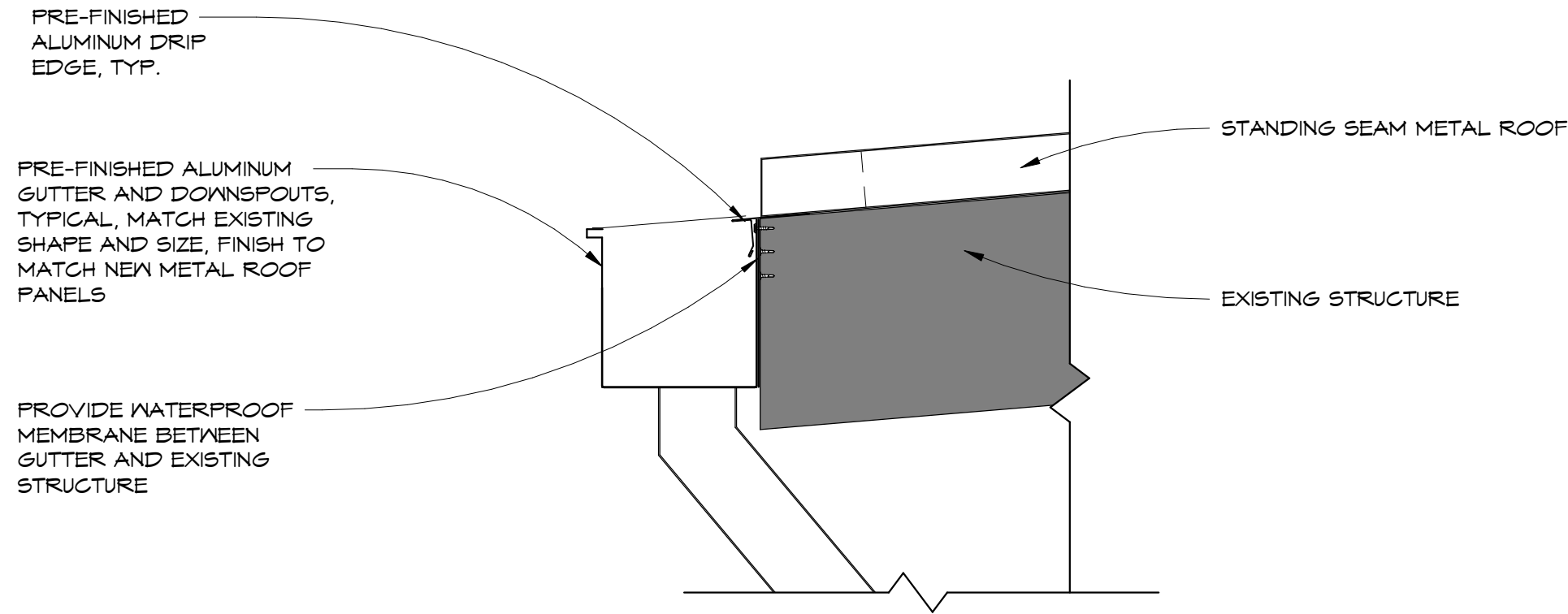


4 BUILDING B -WEST
A2.01 (OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)

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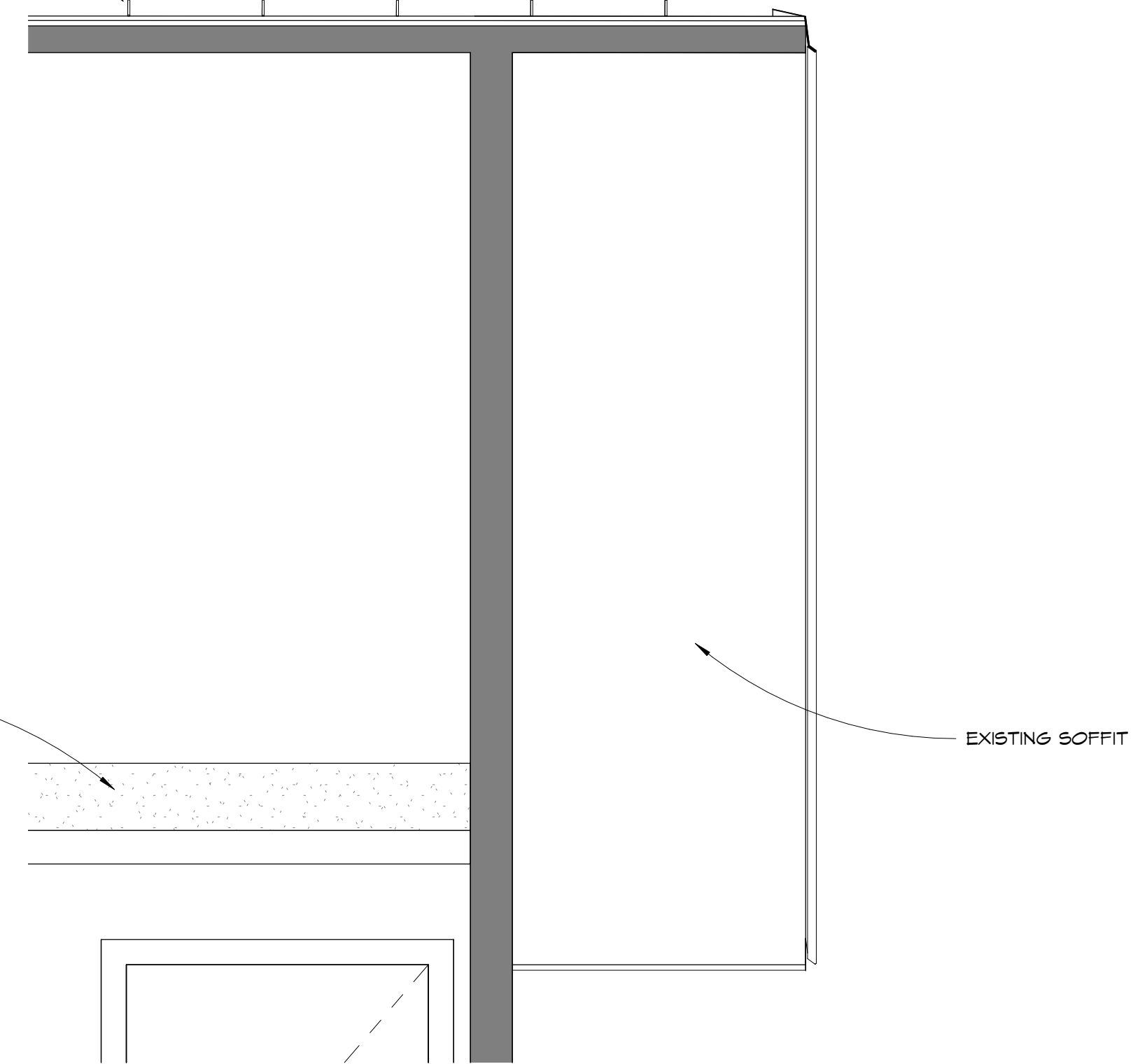




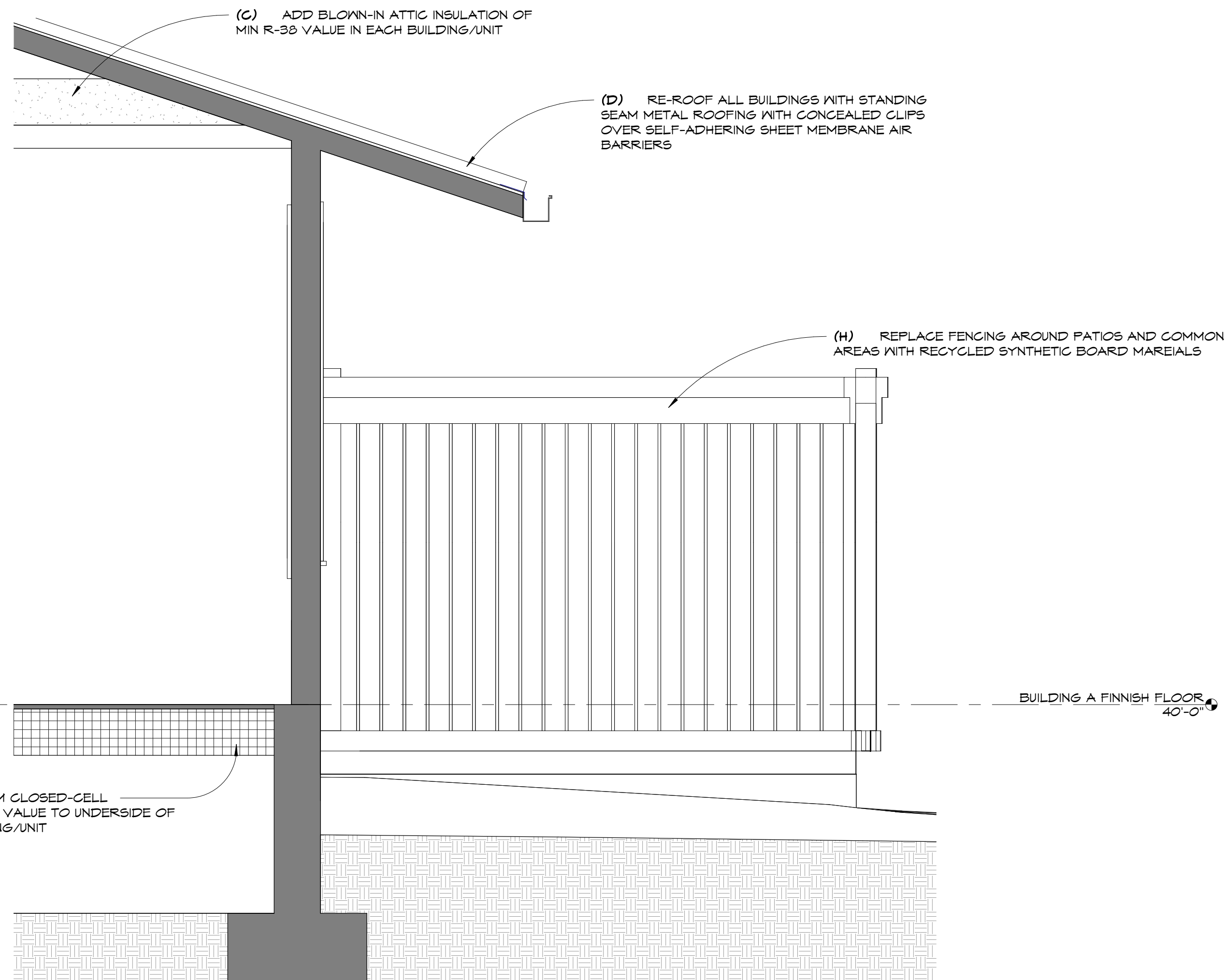
4 ROOF GUTTER DETAIL 1 1/2" = 1'-0"

(D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS OVER SELF-ADHERING SHEET MEMBRANE AIR BARRIERS

(G) ADD BLOWN-IN ATTIC INSULATION OF MIN R-38 VALUE IN EACH BUILDING/UNIT

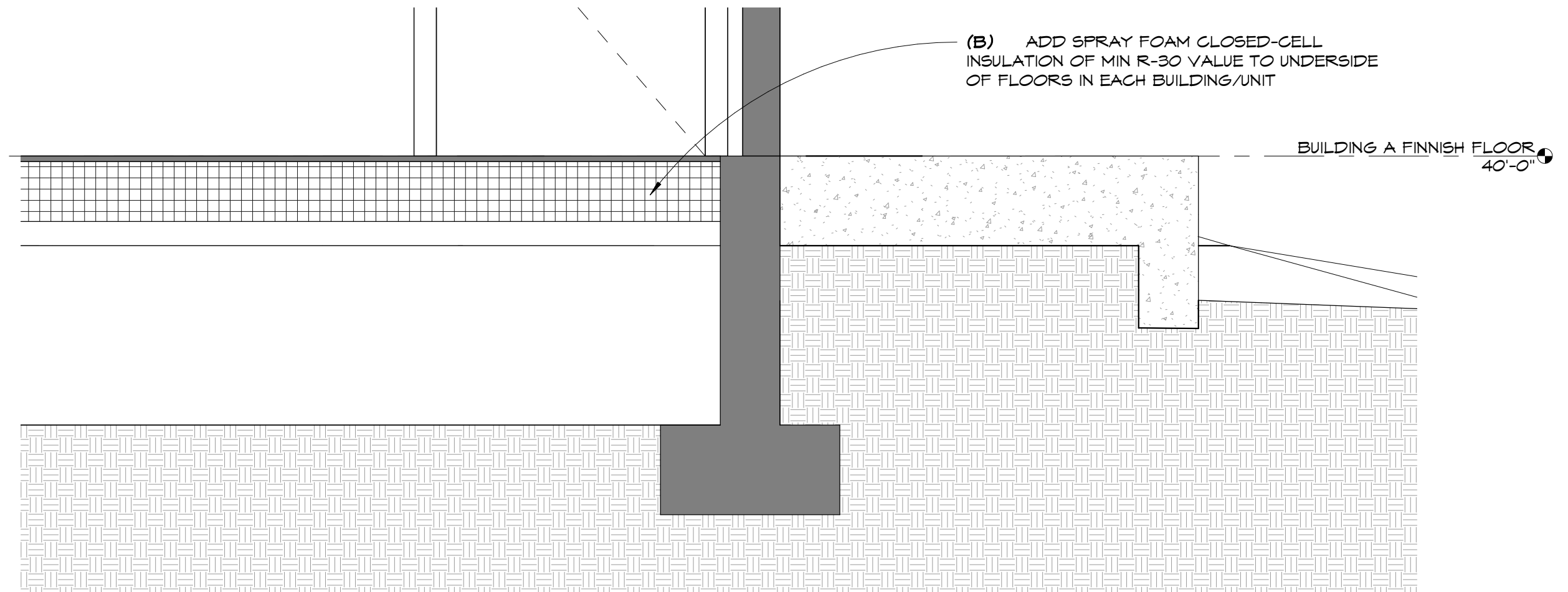


2 TYPE 1 - GABLE DETAIL 3/4" = 1'-0"



1 TYPE 1 - WALL AT ROOF EDGE 3/4" = 1'-0"

(B) ADD SPRAY FOAM CLOSED-CELL INSULATION OF MIN R-30 VALUE TO UNDERSIDE OF FLOORS IN EACH BUILDING/UNIT



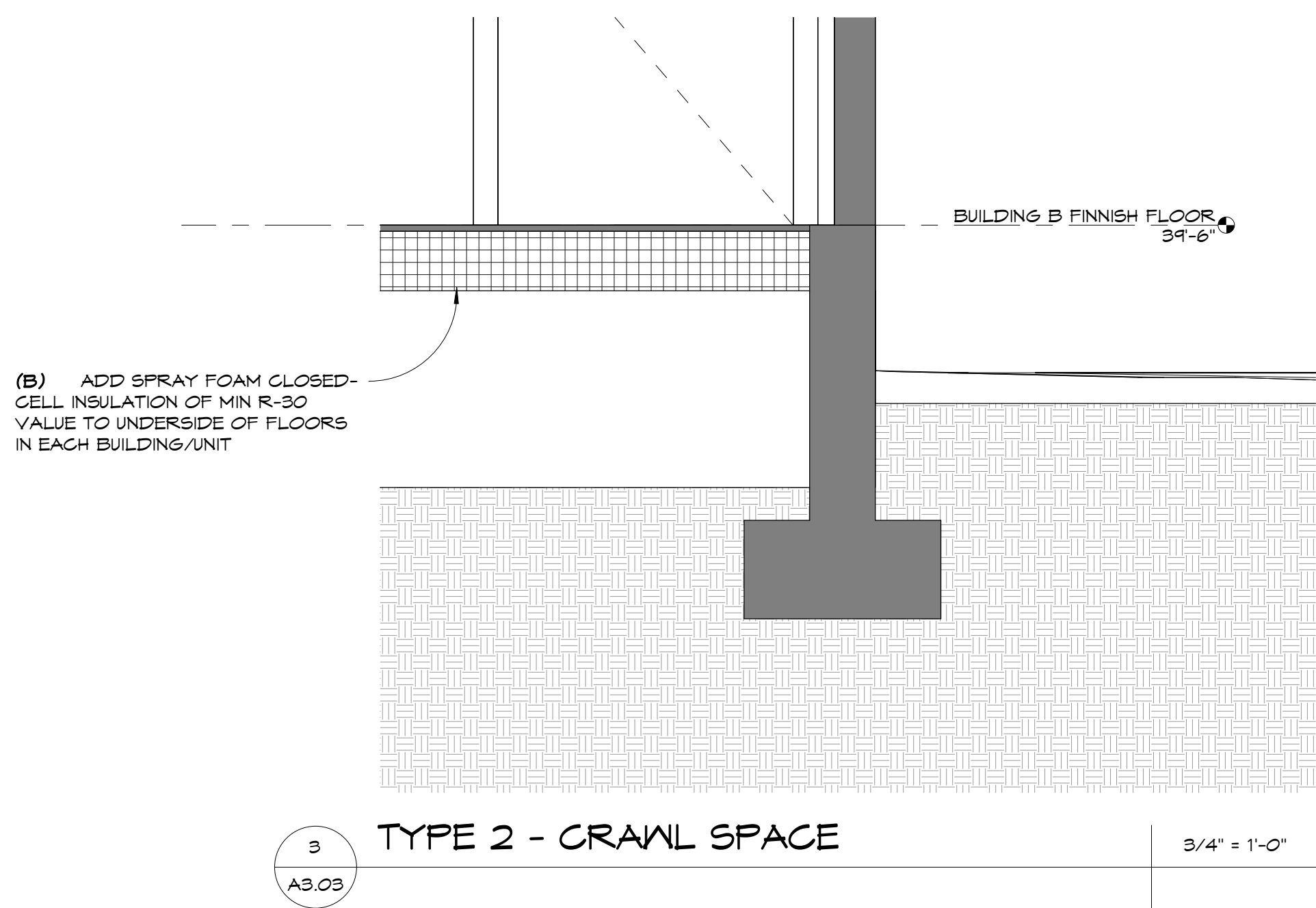
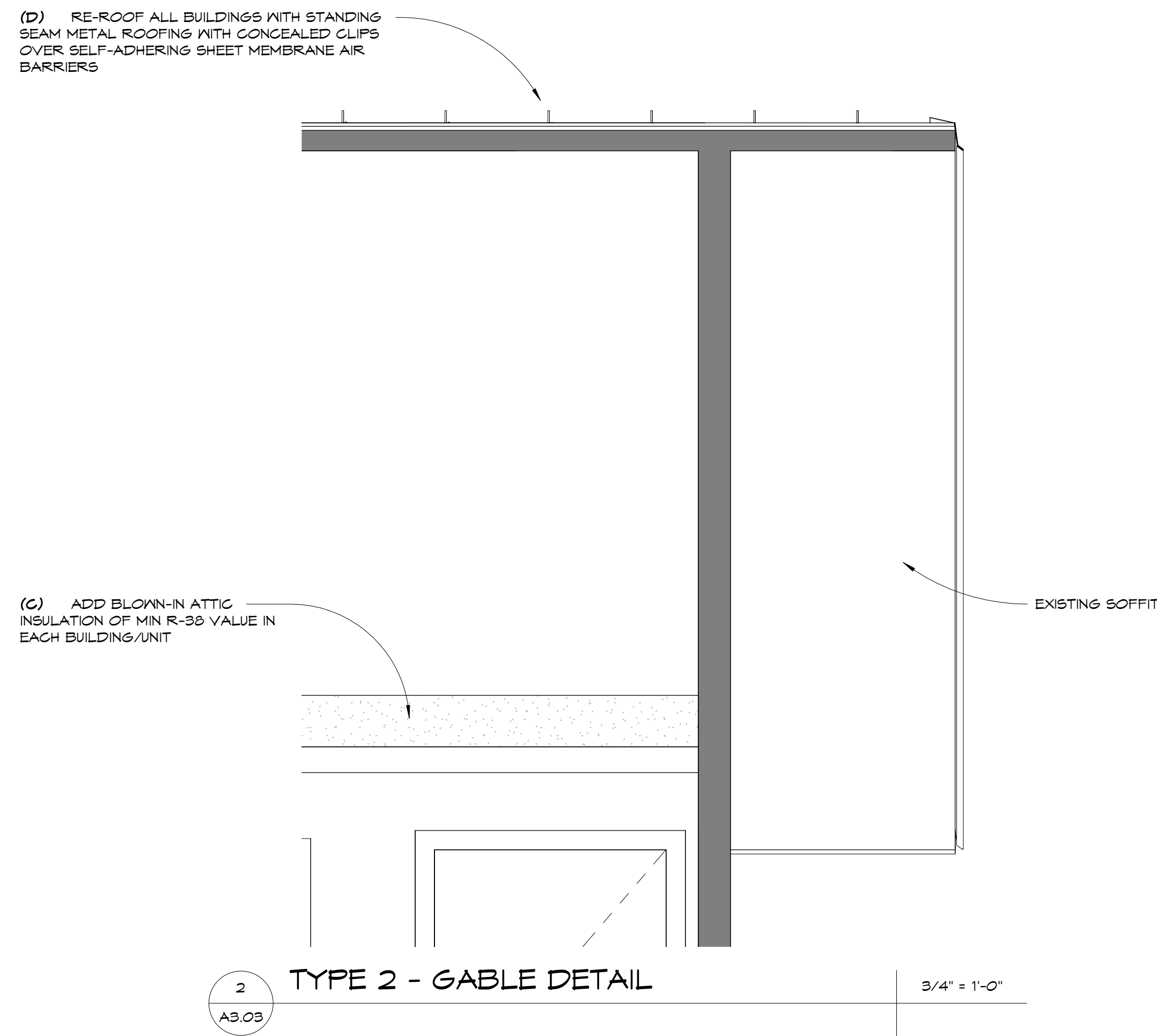
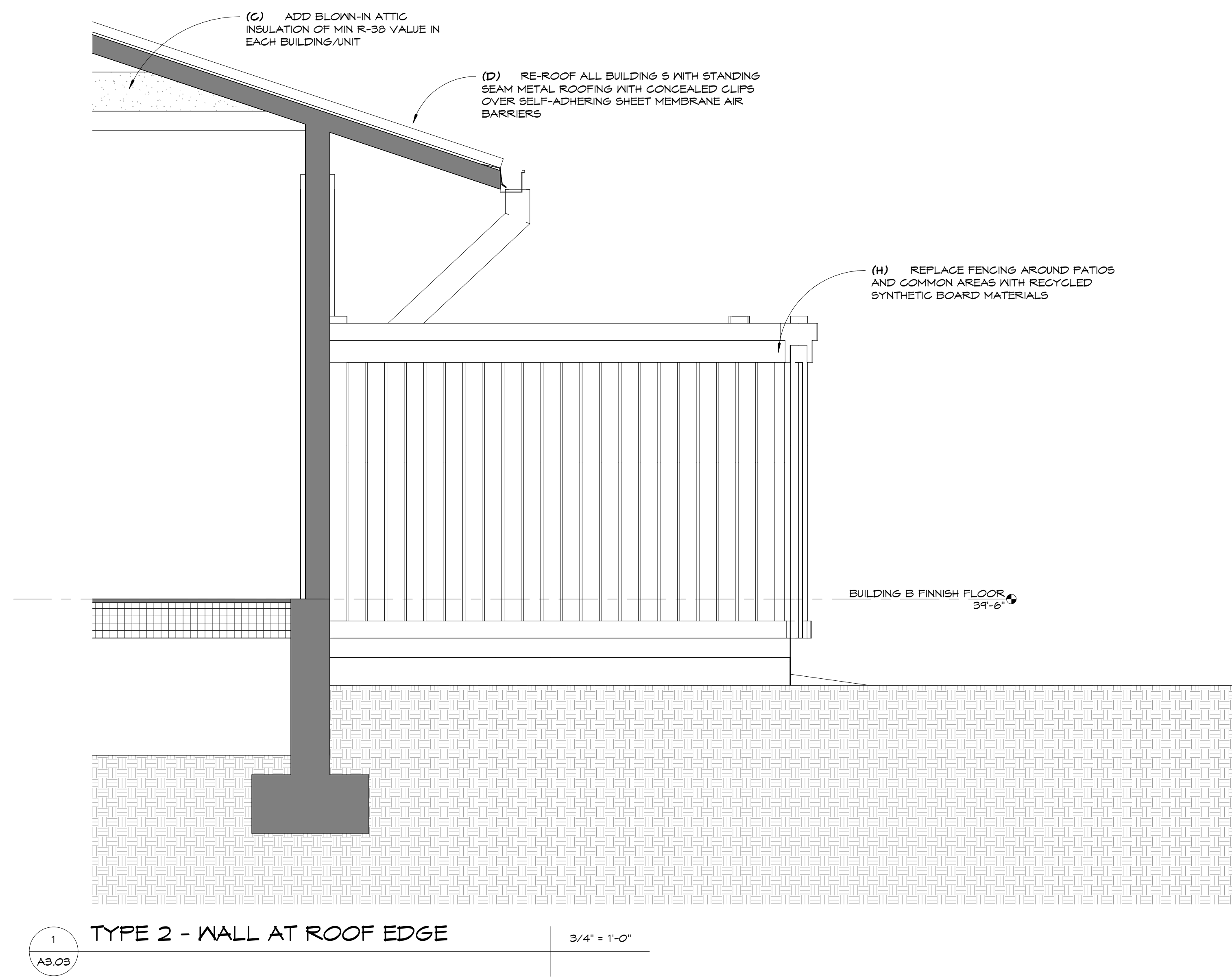
3 TYPE 1 - CRAWL SPACE 3/4" = 1'-0"

SEAL:

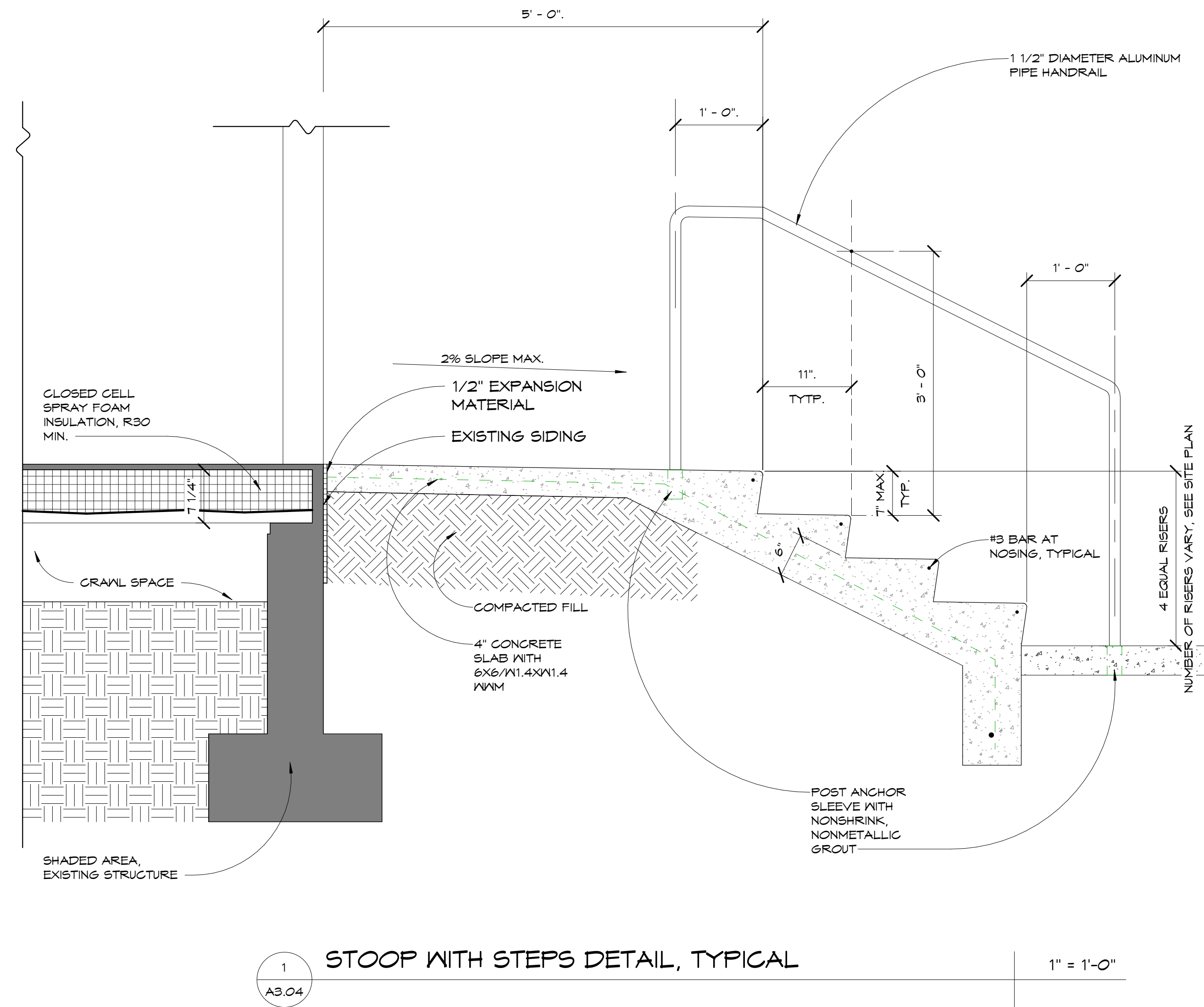
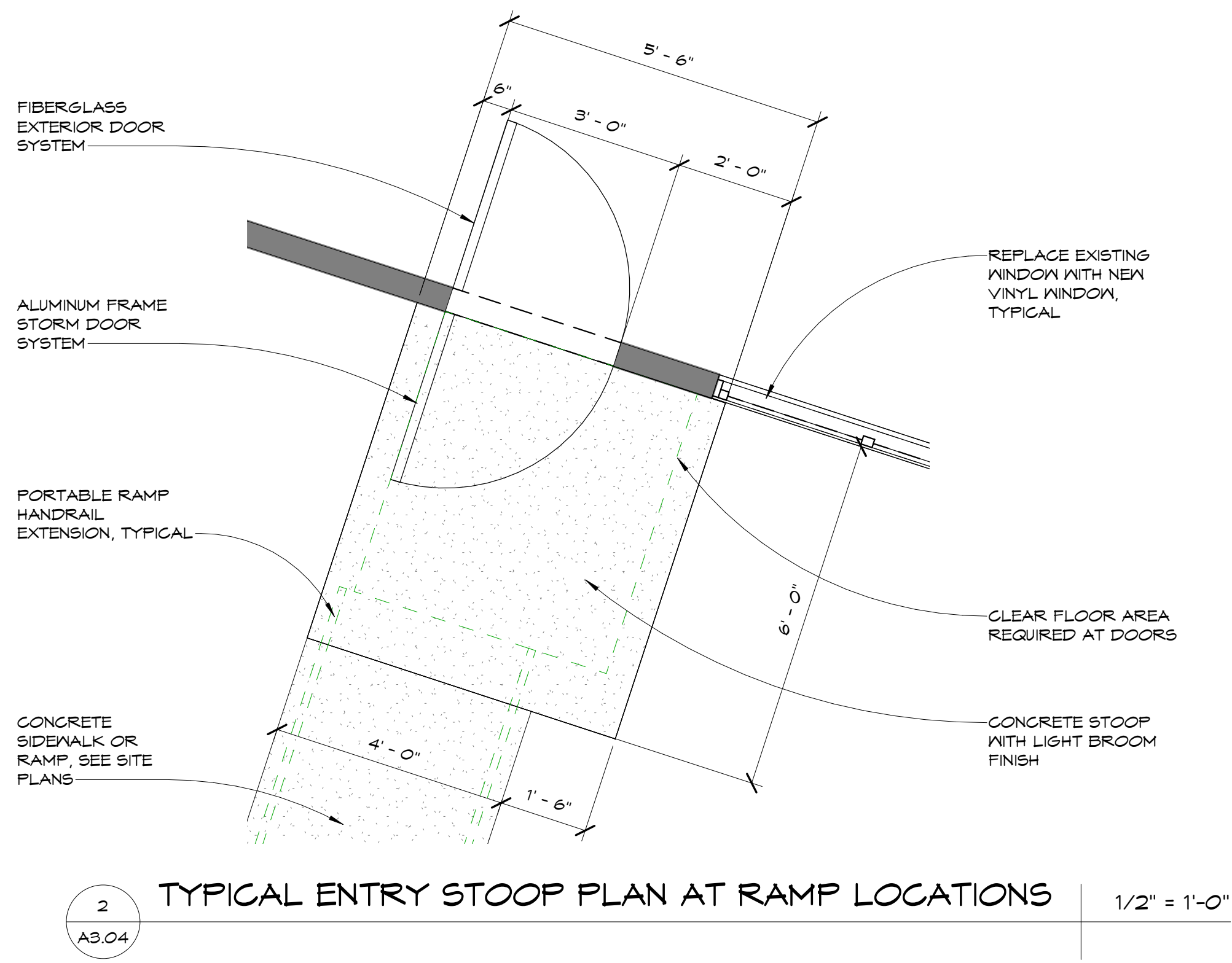
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SCALE:		DATE:	
As indicated		6/18/2020	
DRAWN BY:		CHECKED BY:	
PRO		MFH	
NO.	REVISION:		DATE:
1	REPLACE ENTIRE SHEET		7/1/2020

SHEET TITLE:
**BUILDING TYPE
ONE DETAILS**



NO.	REVISION:	DATE:
1	REPLACE ENTIRE SHEET	7/1/2020



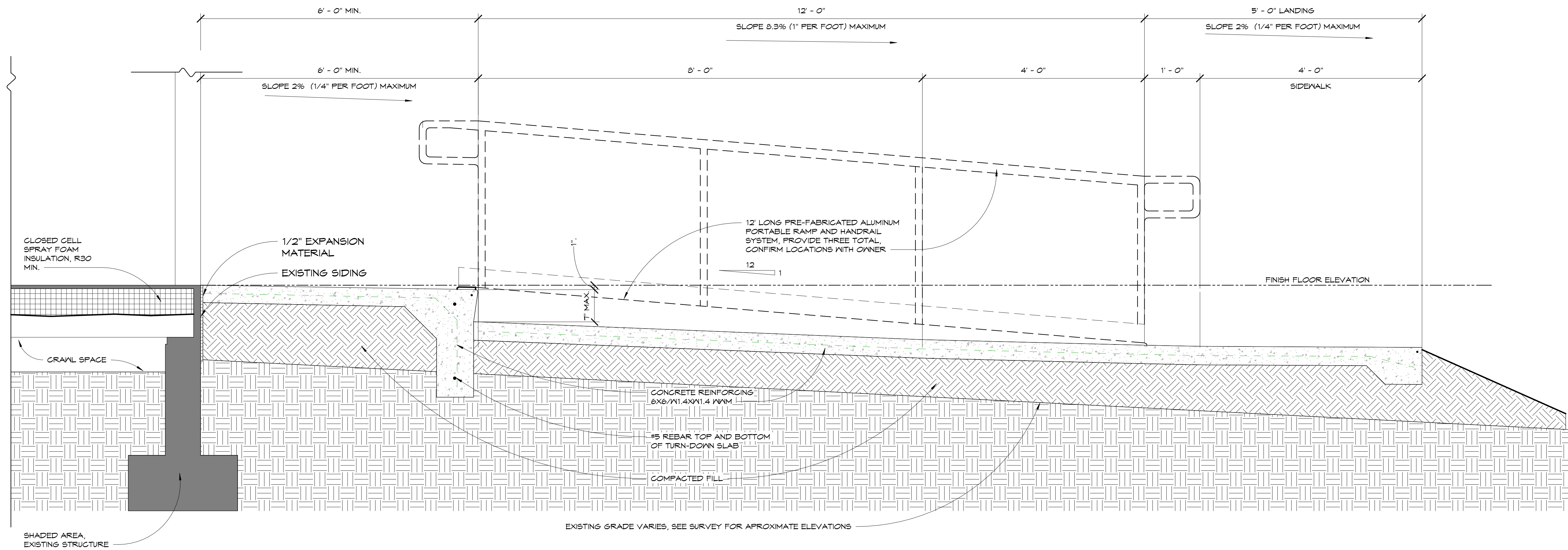
SEAL:

BID SET

SCALE:		DATE:
As indicated		6/18/2020
DRAWN BY:		CHECKED BY:
MFH		MFH
NO.	REVISION:	DATE:
1	REPLACE ENTIRE SHEET	7/1/2020

SHEET TITLE:
ENTRY STOOP SECTION AND DETAILS

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1
A3.05

ENTRY STOOP - CONDITION A

1" = 1'-0"

CLIENT:

PROJECT:

NORTHGATE TERRACE II
IMPROVEMENTS
PROJECT 2020

1915 WILSON AVENUE,
PANAMA CITY, FL 32405
(850) 769-5278

CONSULTANTS:

SEAL:

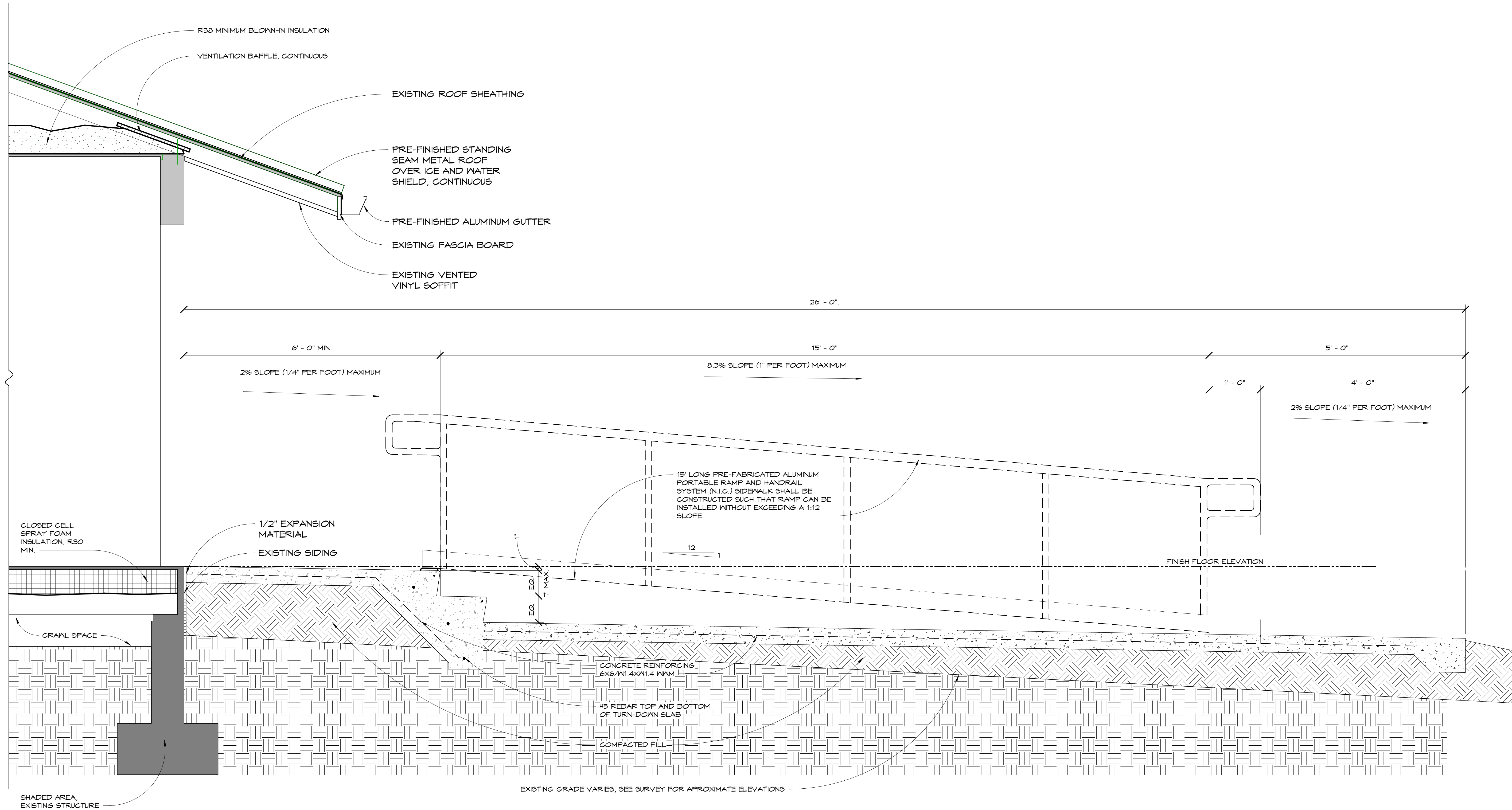
BID SET

SCALE: 1" = 1'-0"
DATE: 6/18/2020
DRAWN BY: MFH
CHECKED BY: MFH

NO.	REVISION:	DATE:
1	REPLACE ENTIRE SHEET	7/1/2020

SHEET TITLE:

RAMP AND STAIR
SECTIONS



1
A3.06

ENTRY STOOP - CONDITION B

1" = 1'-0"

CLIENT:

CONSULTANTS:

SEAL:

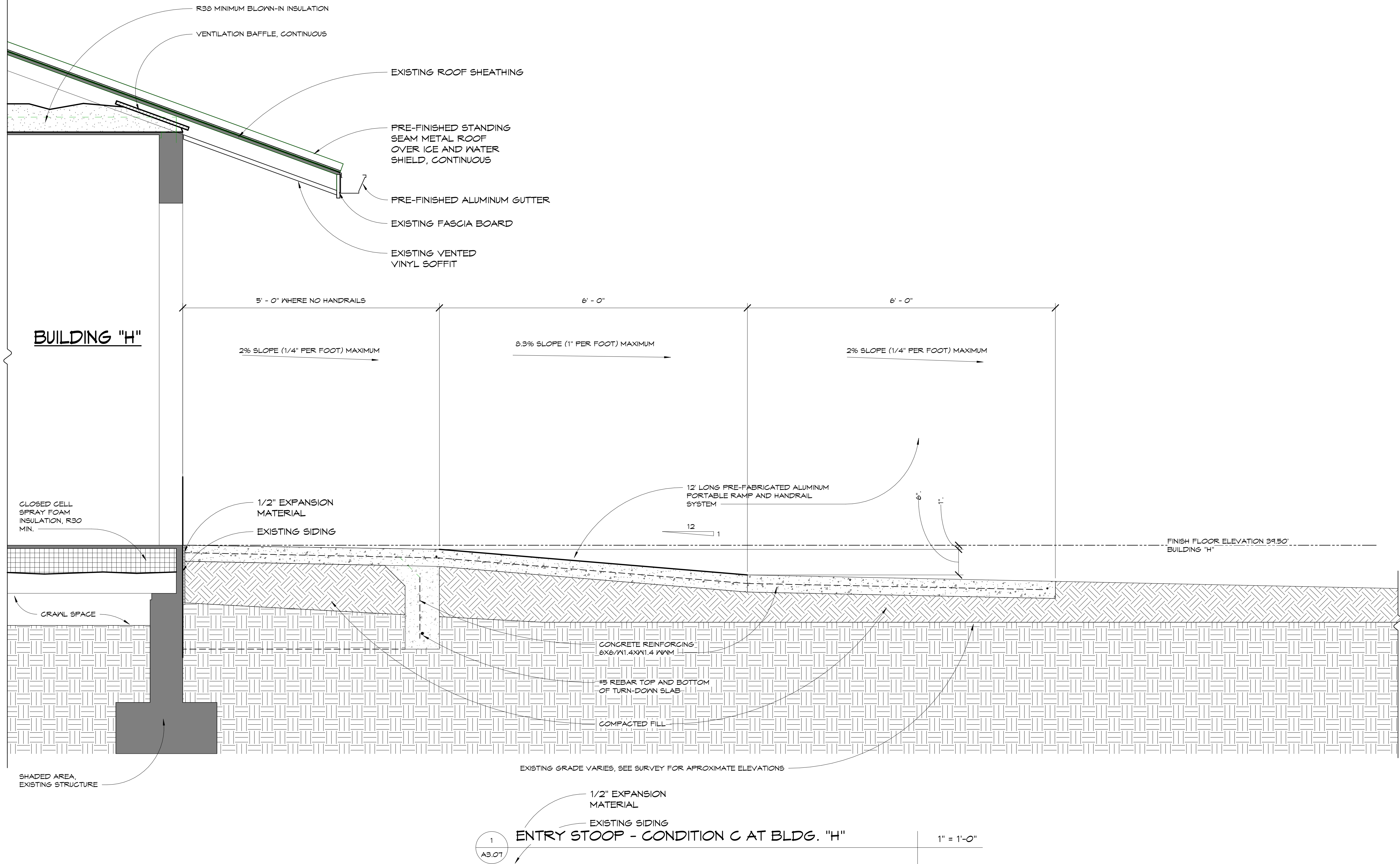
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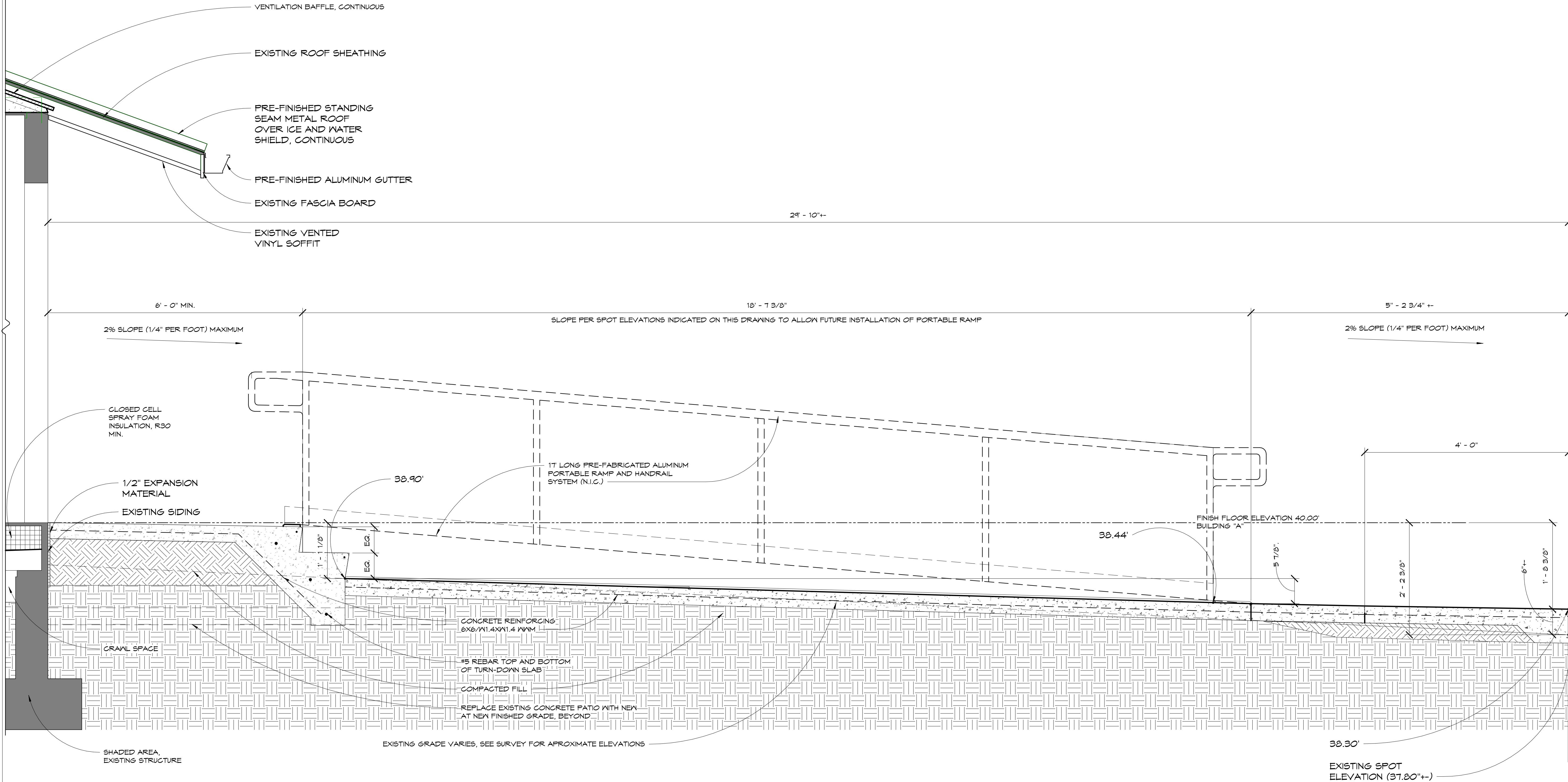
SCALE:	DATE:
1" = 1'-0"	6/18/2020
DRAWN BY:	CHECKED BY:
MFH	MFH

NO.	REVISION:	DATE:
1	REPLACE ENTIRE SHEET	7/1/2020

SHEET TITLE:

RAMP AND STAIR
SECTION





1
A3.08

ENTRY STOOP - CONDITION D AT BLDG. "A"

1" = 1'-0"

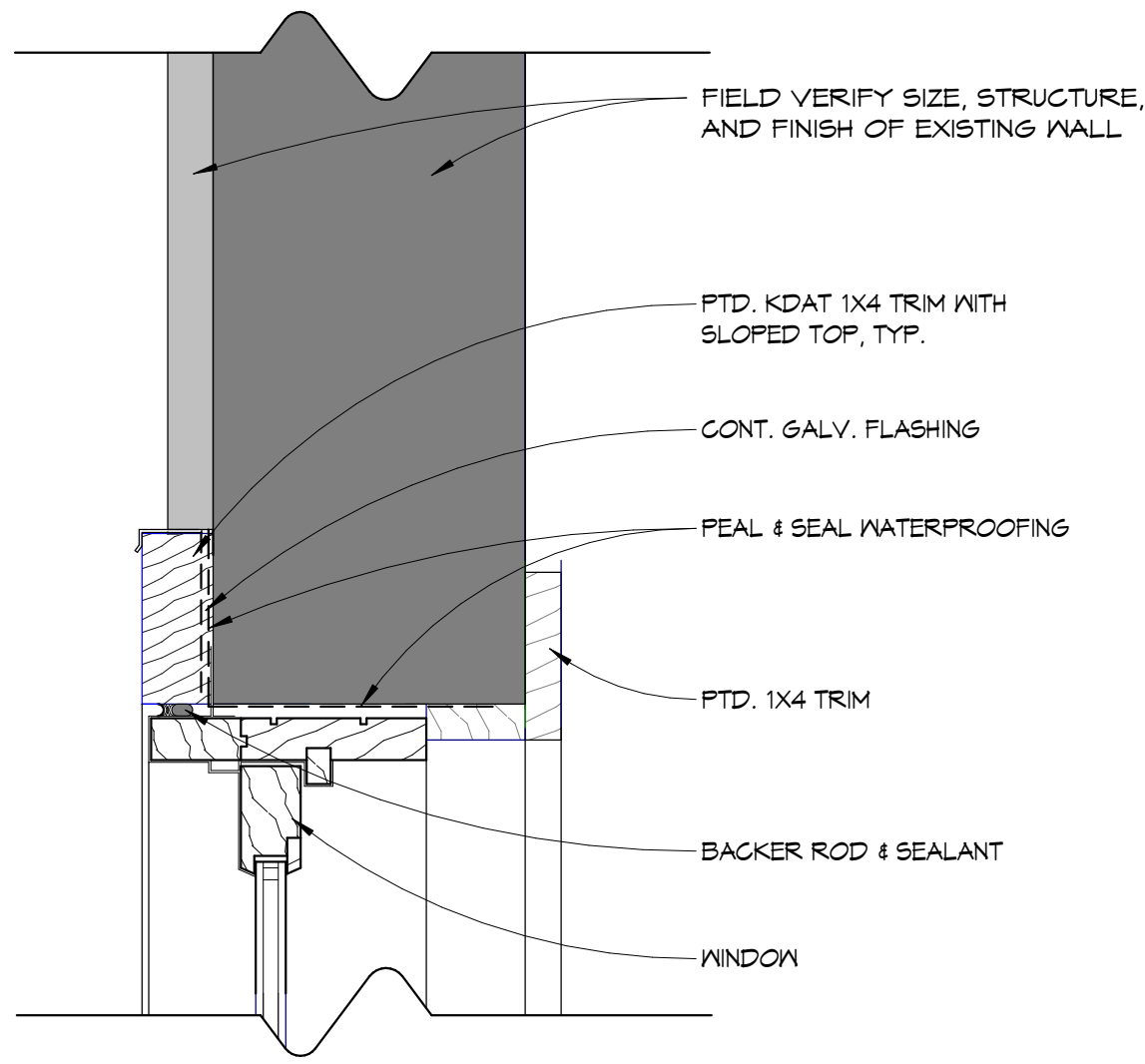
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BID SET

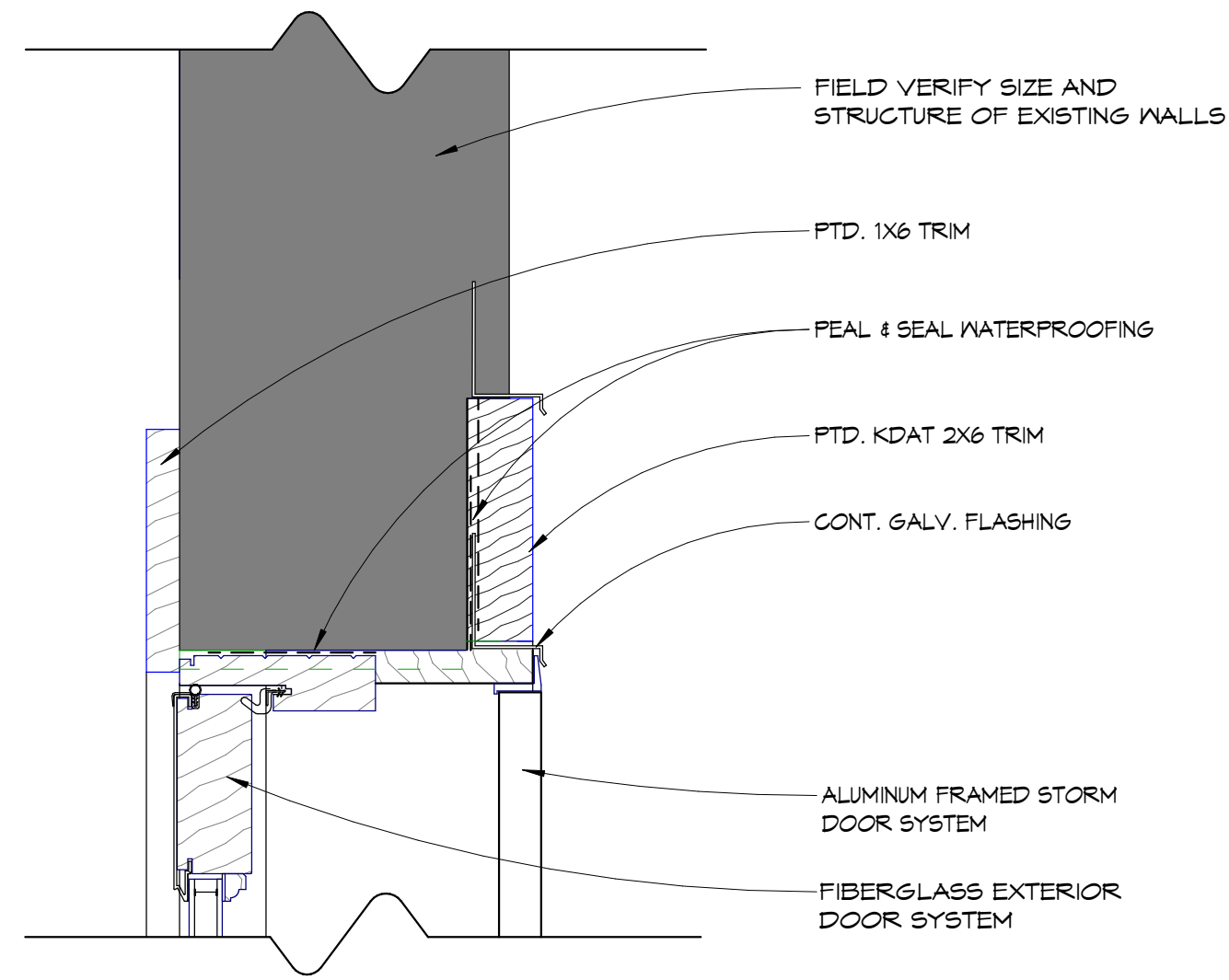
SCALE: 1" = 1'-0"
DATE: 6/18/2020
DRAWN BY: MFH
CHECKED BY: MFH

NO.	REVISION:	DATE:
1	REPLACE ENTIRE SHEET	7/1/2020

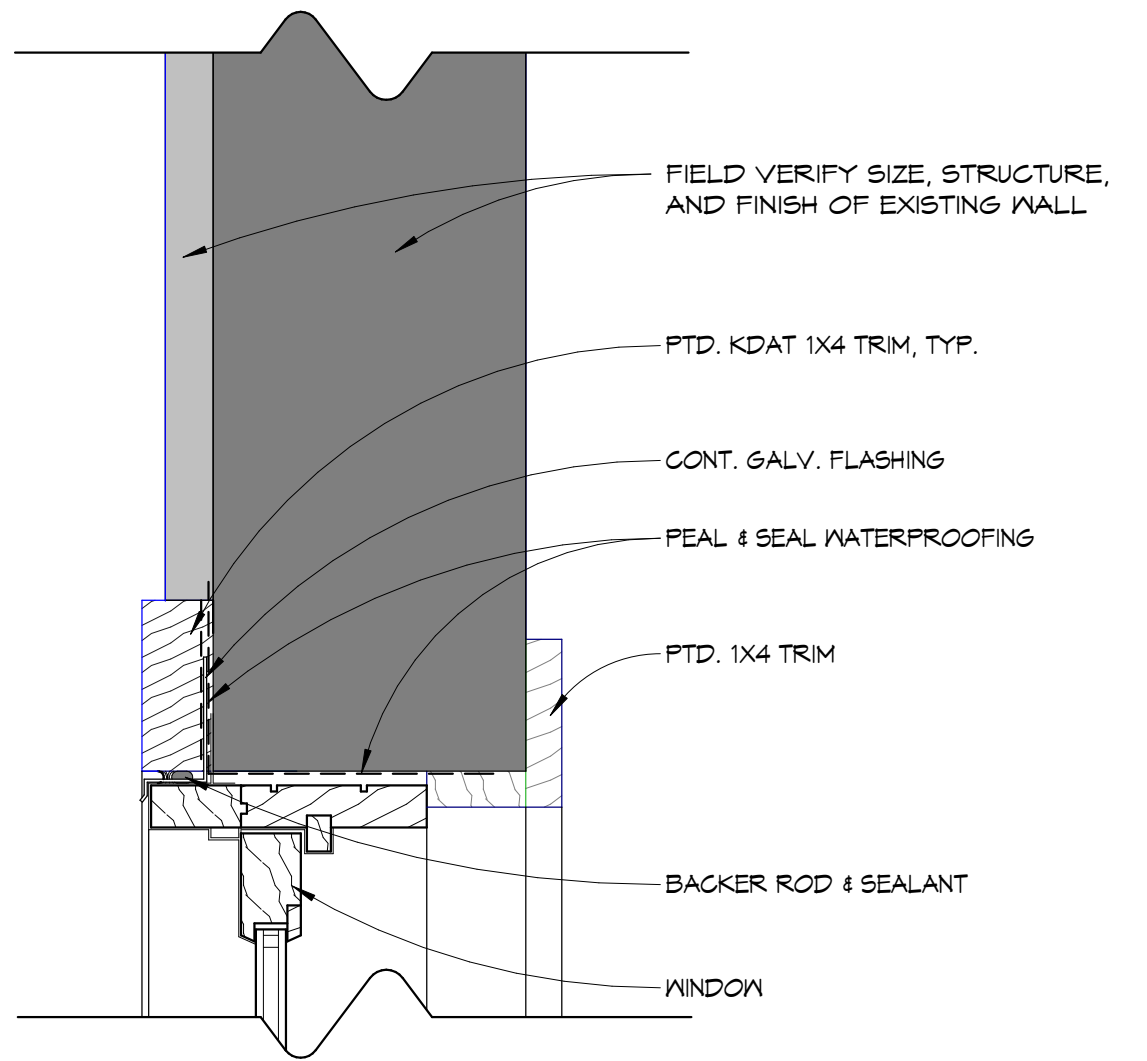
SHEET TITLE:
RAMP AND STAIR SECTION



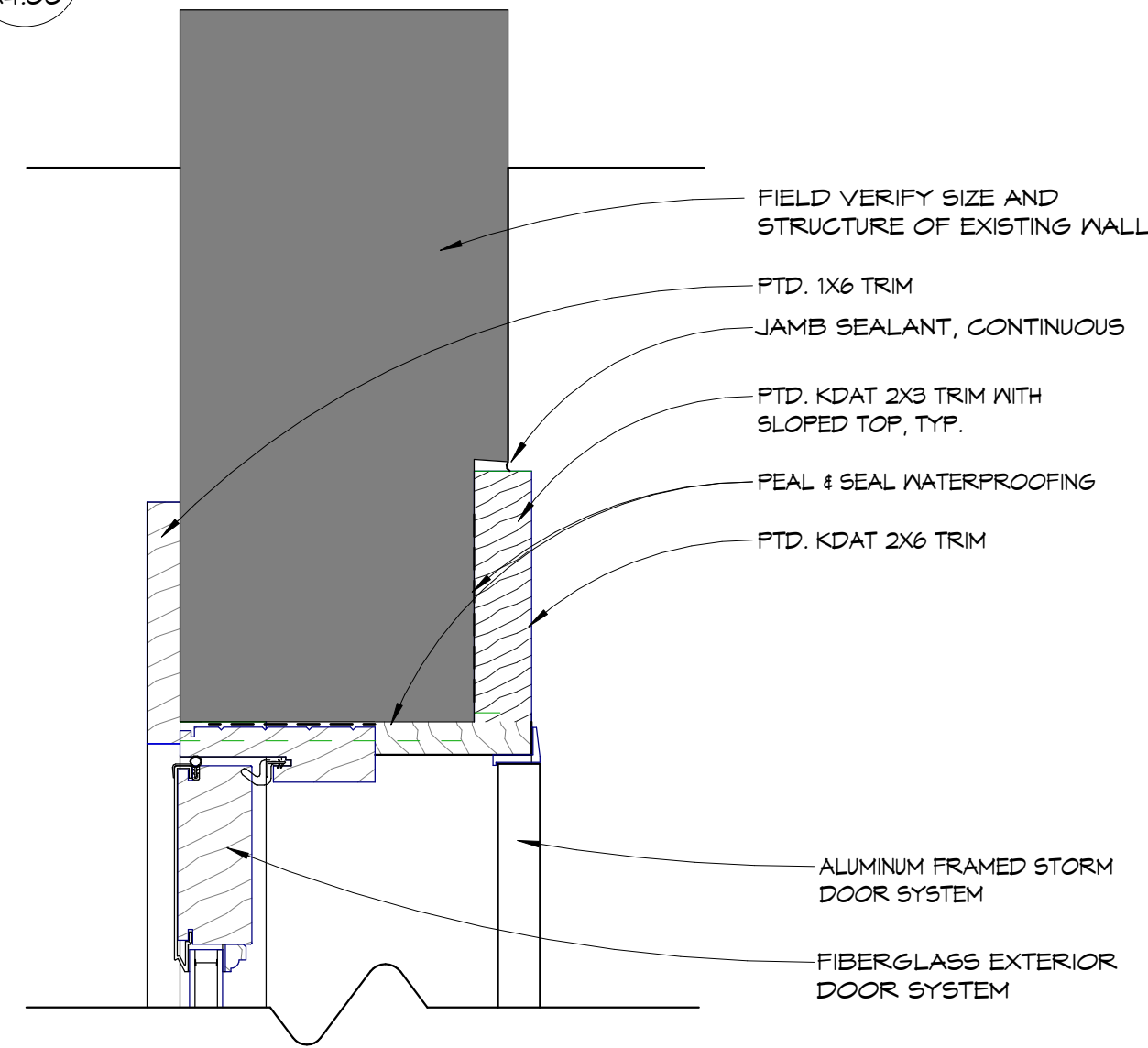
4 TYP. WIN. HDR, VINYL 3" = 1'-0"



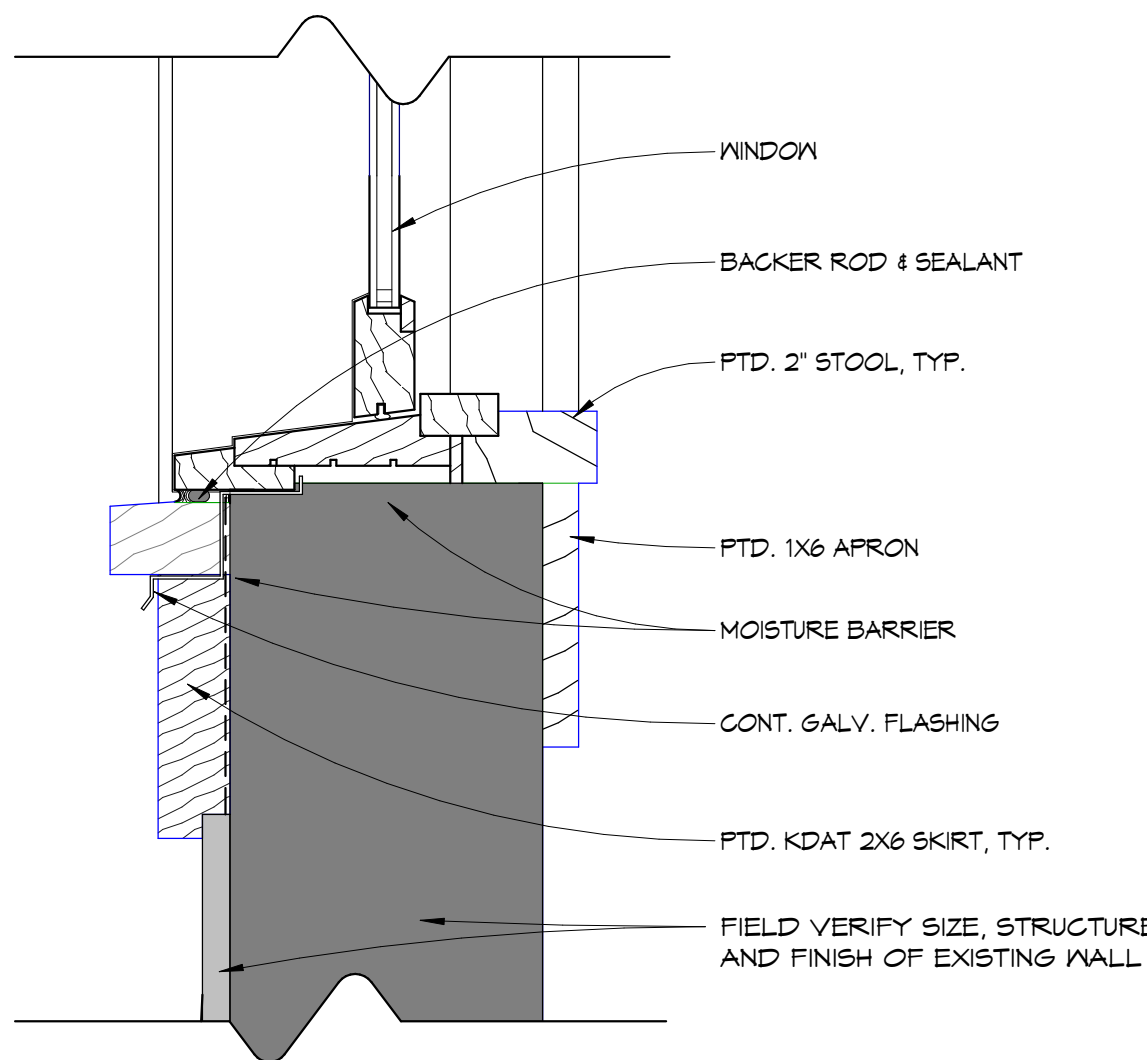
1 TYP. DR. HDR, WOOD 3" = 1'-0"



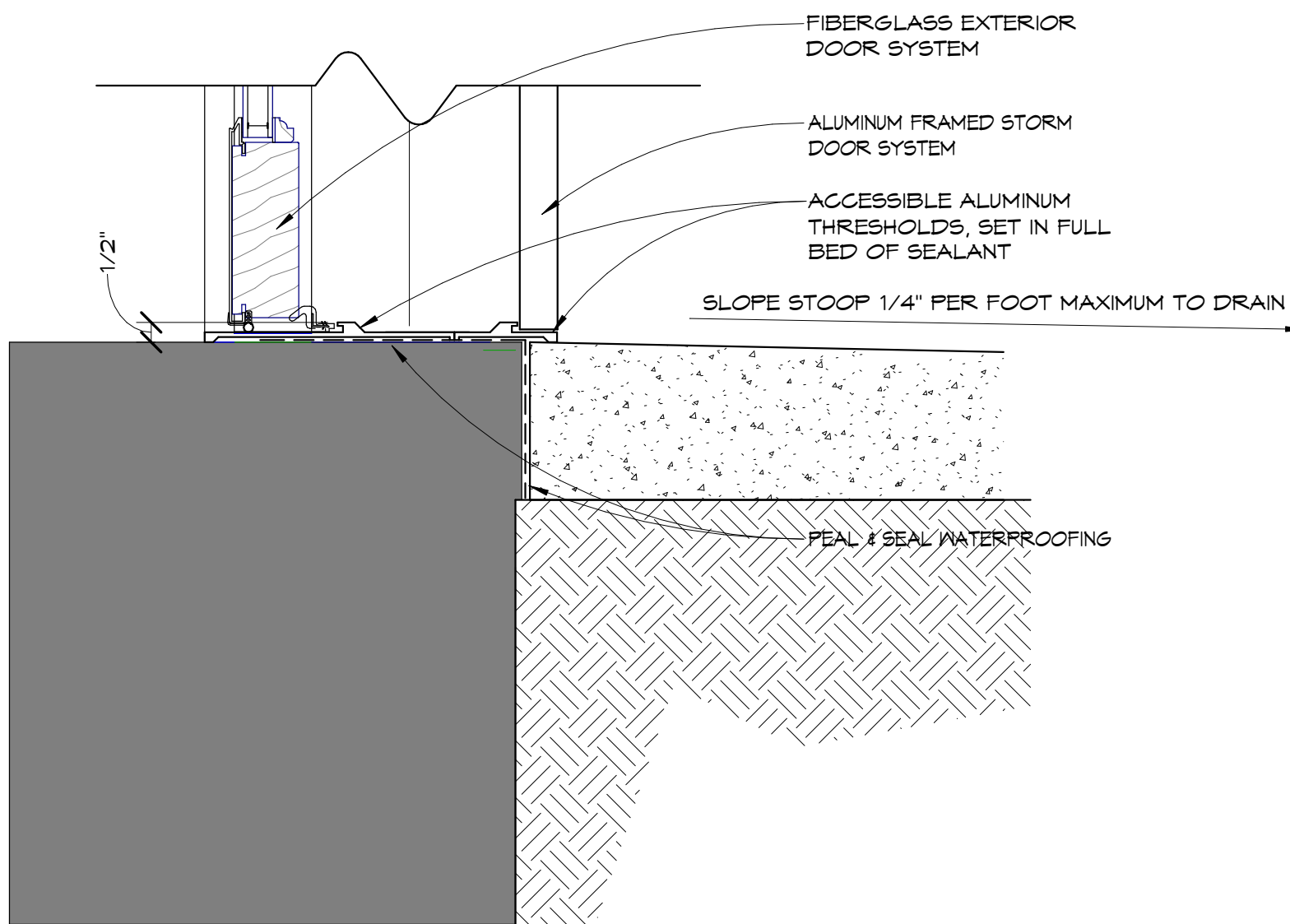
5 TYP. WIN. JAMB, VINYL 3" = 1'-0"



2 TYP. DOOR JAMB WOOD 3" = 1'-0"



6 TYP. WIN. SILL, VINYL 3" = 1'-0"



3 TYP. DR. SILL, WOOD 3" = 1'-0"

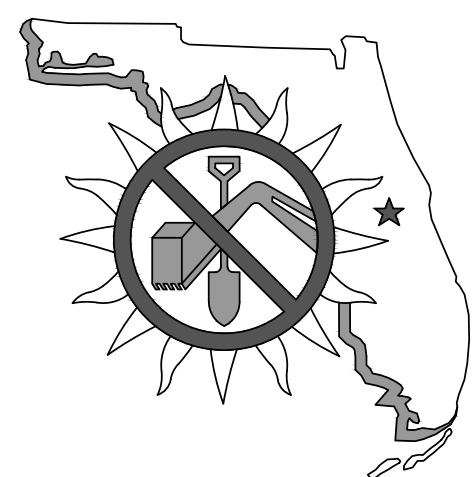
CIVIL CONSTRUCTION PLANS FOR:

NORTHGATE APARTMENTS

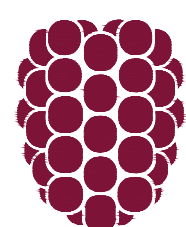
PREPARED FOR:

PANAMA CITY HOUSING AUTHORITY

PANAMA CITY, FLORIDA



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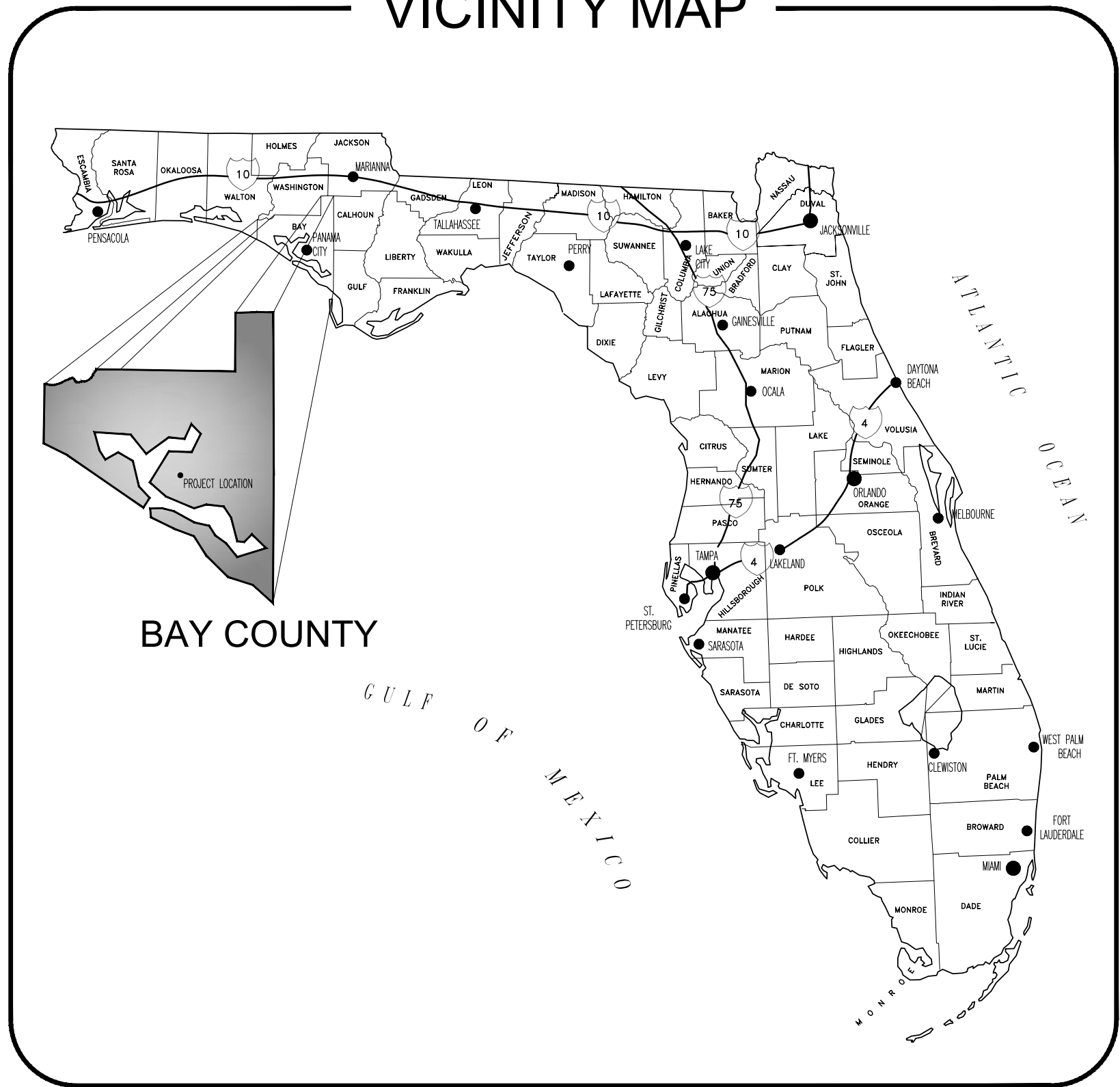
BID DOCUMENTS
NOT FOR CONSTRUCTION

REV. NO.	REV. DATE	REVISION DESCRIPTION	RELEASED TO	RELEASE DATE
1				
2				
3				
4				
5				

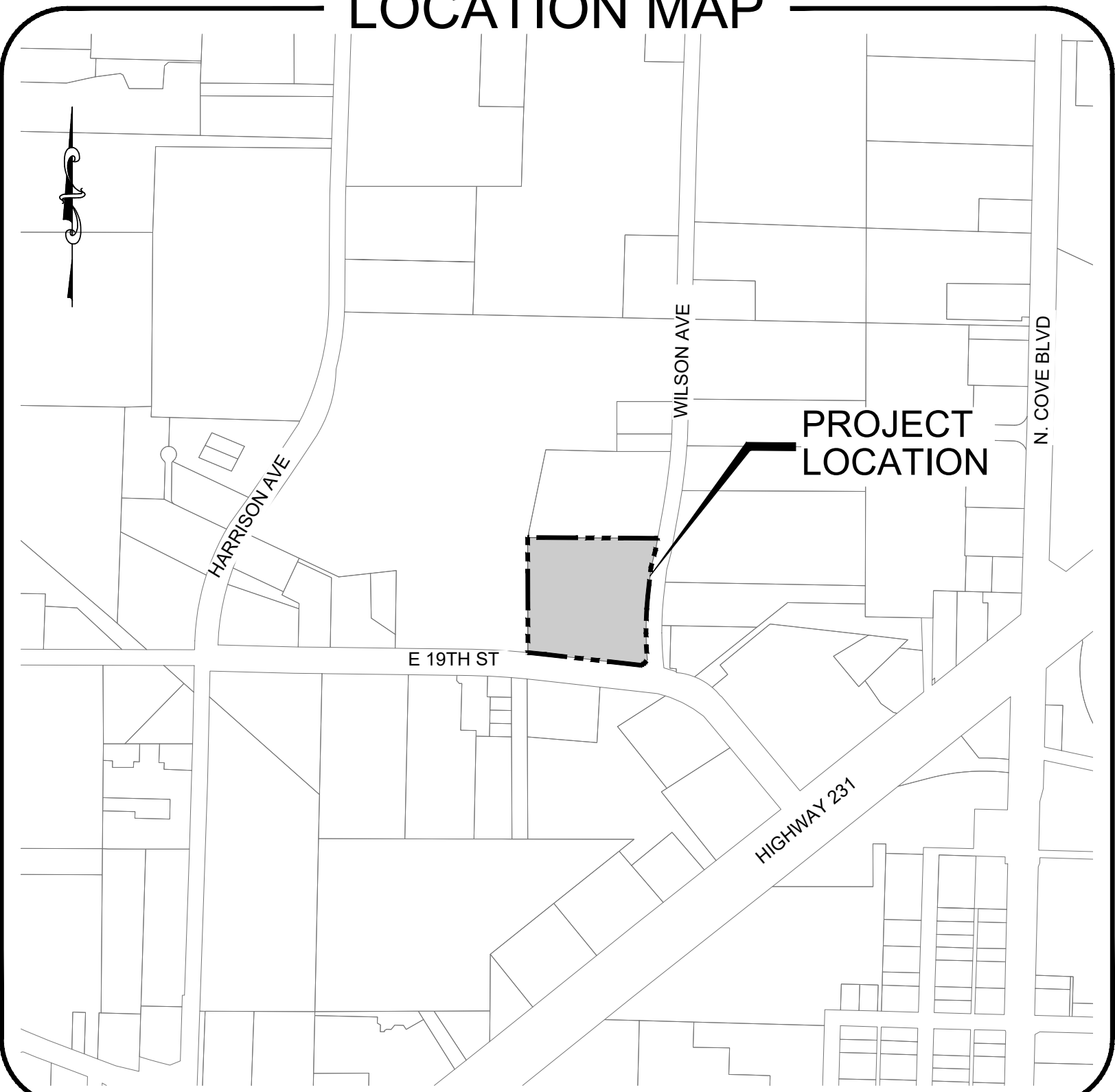
PROJECT NUMBER - 50127729

JUNE 2020

VICINITY MAP



LOCATION MAP



DRAWING INDEX

TITLE	NO.
GENERAL NOTES	C1.00
SWPPP	C2.00
EXISTING CONDITIONS	C3.00
DEMO & EROSION CONTROL PLAN	C4.00
SITE PLAN	C5.00
GRADING PLAN	C6.00
MISC. DETAILS	C7.00

GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH FDOT CURRENT YEAR DESIGN STANDARDS AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNLESS OTHERWISE STATED OR SHOWN IN THE PLANS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF PANAMA CITY STANDARDS AND SPECIFICATIONS, UNLESS APPROVED BY THE CITY OF PANAMA CITY.
- WHERE THE FDOT DESIGN STANDARDS DIFFER FROM THE CITY OF PANAMA CITY STANDARDS, THE MORE STRINGENT STANDARD SHALL APPLY, UNLESS APPROVED BY THE CITY OF PANAMA CITY.
- ALL PROPOSED GROUND ELEVATIONS ARE FINISHED SOD ELEVATIONS. FINISH EARTHWORK GRADING SHALL BE 0.2 FEET BELOW ELEVATIONS SHOWN TO ALLOW FOR SOD THICKNESS.
- SODDING INCLUDES MAINTAINING SLOPES AND SOD UNTIL COMPLETION AND ACCEPTANCE OF TOTAL PROJECT OR GROWTH IS ESTABLISHED, WHICHEVER COMES LAST. UNTIL THEN, ALL EROSION, SILTATION AND MAINTENANCE OF GRADES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- WHERE EXCAVATIONS ARE IN CLOSE PROXIMITY OF TREES NOT SHOWN AS BEING REMOVED, THE CONTRACTOR SHALL USE EXTREME CARE IN NOT DAMAGING THE ROOT SYSTEM. NO EQUIPMENT, SUPPLIES, OR VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRIP LINE OF TREES TO REMAIN AND BE PRESERVED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL EMPLOYEES AND SUBCONTRACTORS OF THIS REQUIREMENT AND TO ENFORCE SAME.
- THE CONTRACTOR SHALL NOTIFY UTILITY OWNERS THROUGH SUNSHINE STATE ONE CALL OF FLORIDA (800-432-4770) AT LEAST TWO (2) FULL BUSINESS DAYS IN ADVANCE OF BEGINNING CONSTRUCTION ON THE JOB SITE. THE CONTRACTOR SHALL WAIT THE REQUIRED TIME FOR BURIED UTILITIES TO BE LOCATED AND MARKED. THE CONTRACTOR SHALL PROTECT THE MARKS DURING CONSTRUCTION. IF THE MARKS ARE DESTROYED, THE CONTRACTOR SHALL CALL SUNSHINE STATE ONE CALL FLORIDA AGAIN. THE CONTRACTOR SHALL DIG SAFELY, USING EXTREME CAUTION, WHEN DIGGING WITHIN 36 INCHES ON EITHER SIDE OF THE MARKS TO AVOID HITTING THE BURIED UTILITY LINES.
- PROPOSED CONSTRUCTION SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA), THE ADA COMPLIANCE HANDBOOK, LATEST EDITION, AND THE FLORIDA ACCESSIBILITY CODE. SIDEWALK CONSTRUCTION AND EXPANSION JOINT SPACING SHALL BE IN ACCORDANCE WITH FDOT DESIGN STANDARD INDEX 310.
- ALL INLETS SHALL BE PROTECTED AS PER FDEP BEST MANAGEMENT PRACTICES, AND THE FDEP/FDOT EROSION AND SEDIMENT CONTROL HANDBOOK.
- THE CONTRACTOR SHALL PROTECT ALL GRASSED AREAS FROM DISCARDED CONCRETE AND EXCESS MATERIALS. ALL DISCARDED CONCRETE AND EXCESS MATERIALS SHALL BE REMOVED FROM THE RIGHT-OF-WAY (OR JOB SITE) ON A DAILY BASIS.
- THE CONTRACTOR IS TO MAINTAIN AND KEEP STREET NAME IDENTIFICATION (STREET SIGNS) VISIBLE DURING CONSTRUCTION OPERATIONS, IN ORDER TO FACILITATE EMERGENCY VEHICLE TRAFFIC.
- THE CONTRACTOR SHALL NOT BRING ANY HAZARDOUS MATERIALS ONTO THE PROJECT. SHOULD THE CONTRACTOR REQUIRE SUCH MATERIALS FOR PERFORMING THE CONTRACTED WORK, THE CONTRACTOR SHALL REQUEST, IN WRITING, WRITTEN PERMISSION FROM THE ENGINEER. THE CONTRACTOR SHALL PROVIDE A COPY TO THE PROJECT ADMINISTRATOR. THE CONTRACTOR SHALL PROVIDE THE PROJECT ADMINISTRATOR WITH A COPY OF THE MATERIAL SAFETY DATA SHEET (MSDS) FOR EACH HAZARDOUS MATERIAL PROPOSED FOR USE. THE ENGINEER SHALL COORDINATE WITH THE PROJECT ADMINISTRATOR PRIOR TO ISSUING WRITTEN APPROVAL TO THE CONTRACTOR. SINCE STATE LAW DOES NOT TREAT PETROLEUM PRODUCTS THAT ARE PROPERLY CONTAINERIZED AND INTENDED FOR EQUIPMENT USE AS A HAZARDOUS MATERIAL, SUCH PRODUCTS DO NOT NEED A MSDS SUBMITTAL.
- ANY KNOWN OR SUSPECTED HAZARDOUS MATERIAL FOUND ON THE PROJECT SHALL IMMEDIATELY BE REPORTED TO THE ENGINEER WHO SHALL DIRECT THE CONTRACTOR TO PROTECT THE AREA OF KNOWN OR SUSPECTED CONTAMINATION FROM FURTHER ACCESS. THE ENGINEER IS TO NOTIFY THE PROJECT ADMINISTRATOR OF DISCOVERY. THE PROJECT ADMINISTRATOR WILL ARRANGE AN INVESTIGATION, IDENTIFICATION AND REMEDIATION OF THE HAZARDOUS MATERIAL. THE CONTRACTOR SHALL NOT RETURN TO THE AREA OF CONTAMINATION UNTIL APPROVAL IS PROVIDED BY THE ENGINEER. THE PROJECT ADMINISTRATOR WILL ADVISE THE ENGINEER.
- THE CONTRACTOR SHALL DISPOSE OF ALL DEBRIS UPON COMPLETION OF THE PROJECT.
- THE EROSION CONTROL PLAN SHALL BE IN ACCORDANCE WITH THE FDOT/FDEP EROSION & SEDIMENT CONTROL HANDBOOK.
- ALL FILL MATERIAL SHALL BE SELECT FILL AS DEFINED BY FDOT DESIGN STANDARD INDEX 505.
- CONTRACTOR SHALL NOTIFY ALL ADJACENT PROPERTY OWNERS, IF THEIR LANDSCAPING IS TO BE REMOVED, TO COORDINATE THE REMOVAL AND POSSIBLE RELOCATION.
- DEWATERING: SHOULD LOWERING OF GROUNDWATER BE NECESSARY FOR THE INSTALLATION OF CONCRETE STRUCTURES, OR TO PREVENT LATERAL MOVEMENT OF CONCRETE ALREADY PLACED, SUCH LOWERING SHALL BE ACCOMPLISHED BY MEANS OF A WELL POINT SYSTEM OR OTHER APPROVED MEANS. AT CONTRACTOR'S EXPENSE. COMPREHENSIVE PLANS FOR DEWATERING OPERATIONS, IF USED, SHALL BE SUBMITTED BY THE CONTRACTOR PRIOR TO INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING ASSOCIATED WITH DEWATERING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING NPDES PERMIT.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY METERS, VALVES, SERVICE LATERALS, FIRE HYDRANTS, MAINS, WATER, WASTEWATER, OR GAS FACILITIES DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST.
- SWEEPING SHALL OCCUR DAILY OR IMMEDIATELY AFTER SUCH EVENTS THAT CAUSE TRACKING ONTO STREET.
- ALL SIGNAGE IMPACTED BY CONSTRUCTION ACTIVITIES SHALL BE RELOCATED BY CONTRACTOR AT NO ADDITIONAL COST.
- ANY SIGNS DAMAGED BY THE CONTRACTOR OR STOCKPILED BY THE CONTRACTOR THAT BECOME DAMAGED SHALL BE REPLACED.
- ALL FINAL PROPOSED STRIPING AND MESSAGES SHALL BE THERMOPLASTIC. TEMPORARY STRIPING SHALL BE PAINT.
- ALL PROPOSED INLETS SHALL HAVE 12" SUMP BOTTOMS. OPEN BOTTOMS SHALL NOT BE ALLOWED IN AREAS WHERE HIGH GROUNDWATER EXISTS.
- ALL MAILBOXES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE.
- CONTRACTOR SHALL PROVIDE SIX (6) SETS OF AS-BUILT DRAWINGS AND ONE (1) DIGITAL COPY IN AUTOCAD FORMAT OF THE COMPLETED PROJECT. THE AS BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR.
- PROPOSED FINISHED FLOOR ELEVATIONS SHALL BE AS SHOWN ON PLANS.
- ALL DEMOLISHED MATERIALS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
- ALL ABANDONED UTILITIES SHALL BE REMOVED FROM THE GROUND, NOT ABANDONED IN PLACE.

CONSTRUCTION SEQUENCE AND BMP'S

- THE INITIAL PART OF THE CONSTRUCTION PROCESS SHALL BE THE INSTALLATION OF SILT FENCE AROUND THE PERIMETER OF THE AREA THAT IS TO BE DISTURBED TO ENSURE NO TURBID RUNOFF LEAVES THE CONSTRUCTION SITE. THE SILT FENCE SHALL BE INSTALLED PER THE CONSTRUCTION DETAILS. IF THERE IS A POSSIBILITY OF RUNOFF TO A WATER BODY, TURBIDITY CURTAIN SHALL BE INSTALLED PER THE CONSTRUCTION DETAILS. THE SECOND STEP SHALL BE THE INSTALLATION OF THE CONSTRUCTION ENTRANCE AND DEMOLITION OF ANY EXISTING IMPROVEMENTS AS NEEDED (SEE DEMOLITION PLAN). THE THIRD STEP SHALL BE TO CLEAR AND GRUB AREAS WHERE IMPROVEMENTS ARE TO BE INSTALLED. AS FILL IS BROUGHT INTO THE SITE, THE STORM WATER BASIN SHOULD BE CREATED TO CAPTURE ANY OVERLAND FLOW AND ACT AS A SEDIMENT TRAP. IT IS RECOMMENDED THAT THE BASIN BE CONSTRUCTED APPROXIMATELY 1/2' HIGHER THAN DESIGN AT THIS POINT TO ENSURE ALL SILTS AND FINES ARE REMOVED AT THE TIME OF FINAL GRADING OF THE STORM WATER BASIN.
- TYPICALLY, THE SANITARY SEWER, STORM SEWER, AND WATER MAINS ARE INSTALLED RESPECTIVELY. UPON INSTALLATION OF THE STORM SEWER, HAY BALES AND FILTER FABRICS SHALL BE USED AT ALL INLET OPENINGS PER THE CONSTRUCTION DETAILS TO KEEP THE SYSTEM FREE OF SEDIMENTS DURING THE CONSTRUCTION PHASE. DEPENDING ON SITE CONDITIONS AND SIZE, SEDIMENT TRAPS SHALL BE UTILIZED TO PREVENT TURBID RUNOFF FROM LEAVING THE SITE (SEE EROSION CONTROL PLAN).
- SITE STABILIZATION SHALL BE PROVIDED AS SOON AS THE GRADING WILL ALLOW IN ORDER TO STOP EROSION AND REDUCE TURBID RUNOFF. SEEDING SODDING, OR HYDROSEEDING SHALL BE USED WHEN FINAL GRADES ARE ESTABLISHED.
- EROSION CONTROL MEASURES SHALL BE UTILIZED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT AND BE MANAGED IN ACCORDANCE WITH THE STATE NPDES PROGRAM.
- THE DESIGN OF THE STORM WATER MANAGEMENT SYSTEM FOR THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT.



FLORIDA
ARCHITECTS
LICENSE #AA0002730

648 Florida Avenue
Panama City, FL 32401
(850)-257-5400

CLIENT:



PANAMA CITY
HOUSING
AUTHORITY
1918 MACK LEWIS
DRIVE
PANAMA CITY, FL
32401

PROJECT:

NORTHGATE
TERRACE II
IMPROVEMENTS
PROJECT 2020
1915 WILSON
AVENUE PANAMA
CITY, FL 32405
(850) 769-5278

CONSULTANTS:



Dewberry®

203 Aberdeen Pkwy, Panama City, FL 32405
(850) 522-0644

J. MORGAN HURST, P.E. 60813
EB 0008794

BID
DOCUMENTS

SCALE:
JUNE 2020

DATE:
JUNE 2020

DRAWN:
J.ODOM

CHECKED:
M. HURST

NO.

REVISION:

DATE:

SHEET TITLE:

GENERAL NOTES

PROJECT NO.

50127729

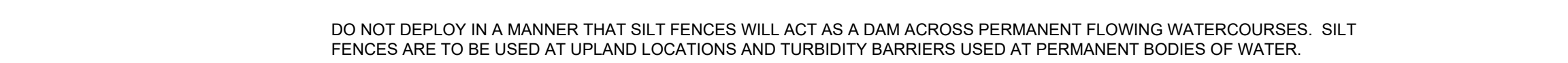
SHEET

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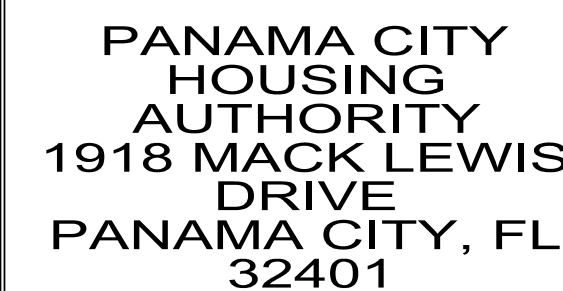
1. CONTRACTOR SHALL STAGE AND TIME CONSTRUCTION TO MINIMIZE THE SIZE OF EXPOSED SOIL AREAS AND THE TIME BETWEEN EXPOSING THE SOIL AREA AND FINISHING THE SOIL AREA.

1. SITE DESCRIPTION:
A. CONSTRUCTION ACTIVITY: PCHA NORTHGATE APARTMENTS
PROJECT LIMITS: SEE SHEET C3
PROJECT DESCRIPTION: NEW PARKING LOT DESIGN AND SIDEWALK PATH AS ILLUSTRATED IN THIS SET OF PLANS



DETAIL SILT FENCE APPLICATIONS
SCALE: N.T.S.

CLIENT:



PROJECT:

**NORTHGATE
TERRACE II
IMPROVEMENTS
PROJECT 2020
1915 WILSON
AVENUE PANAMA
CITY, FL 32405
(850) 769-5278**

CONSULTANTS:



J. MORGAN HURST, P.E. 60813
EB 0008794

BID
DOCUMENTS[illegible]

SHEET TITLE

EXISTING CONDITIONS

PROJECT NO. 50127729	SHEET C3.00
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O.R. BOOK 3187, PAGE 1336
EMERALD COAST BEHAVIORAL















O.R. BOOK 1106, PAGE 1934
BARBARA LESS JONES







SYMBOLS & ABBREVIATIONS:

R/W = RIGHT OF WAY
R.C.P. = REINFORCED CONCRETE PIPE
L.B. = LICENSED BUSINESS
INV. = INVERT
ELEV. = ELEVATION
O.R. = OFFICIAL RECORDS
F.F.E. = FINISHED FLOOR ELEVATION

(D) = DESCRIPTION DATA
(F) = FIELD MEASUREMENT
L = ARC LENGTH
R = RADIUS
D = DELTA ANGLE
CB = CHORD BEARING
CH = CHORD LENGTH
→ = GUY ANCHOR
⋈ = UTILITY POLE
⋈ = IRRIGATION CONTROL VALVE
× 10^{3.8} = SPOT ELEVATION AT "X"
—10'— = CONTOUR ELEVATION AT 1' INTERVALS

-  = CLEANOUT
-  = SANITARY SEWER MANHOLE
-  = STORM SEWER MANHOLE
-  = WATER VALVE
-  = WATER METER
-  = FIRE HYDRANT
-  = LAMP POLE
-  = TRAFFIC SIGN
-  = TEMPORARY BENCHMARK
-  = CONCRETE BOLLARD / PILING
-  = TELEPHONE BOX
-  = TELEVISION BOX
-  = FLAG POLE
-  = ELECTRIC PANEL

 = EXISTING ASPHALT PAVEMENT
 = EXISTING CONCRETE
 = EXISTING WOOD WALK/RAMP
 = BURIED WATER MAIN

June 24, 2020 (16:52:37 EST)
K:\50127729 FLA_PC HOUSING AUTHORITY\ CIVIL3\FOLDER_ PRODUCTION\50127729_EXCOND DWG_C3 EXISTING CONDITIONS BY: JODOM

June 24, 2020 (16:52:37 EST)

July 1, 2020 (16:55:21 EST)
K:50127729_FLA_PC HOUSING AUTHORITY_Civil3D\FOLDER_PRODUCTION\50127729_DEMO.DWG C4 DEMO BY: JODOM



FLA
FLORIDA
ARCHITECTS
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648 Florida Avenue
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(850)-257-5400

CLIENT:
PCHA
PANAMA CITY HOUSING AUTHORITY
PANAMA CITY HOUSING
AUTHORITY
1918 MACK LEWIS
DRIVE
PANAMA CITY, FL
32401

PROJECT:
**NORTHGATE
TERRACE II
IMPROVEMENTS
PROJECT 2020**
1915 WILSON
AVENUE PANAMA
CITY, FL 32405
(850) 769-5278

CONSULTANTS:

Dewberry
203 Aberdeen Pkwy, Panama City, FL 32405
(850) 522-0644

J. MORGAN HURST, P.E. 60813
EB 0008794

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DOCUMENTS**

SCALE: JUNE 2020	DATE: JUNE 2020
DRAWN: J.ODOM	CHECKED: M. HURST

NO.	REVISION:	DATE:
1	REPLACE SHEET	7/1/2020

SHEET TITLE:	
DEMO PLAN	
PROJECT NO. 50127729	SHEET C4.00

SITE DATA TABLE
GOVERNMENT ENTITY - PANAMA CITY
FUTURE LAND USE - URBAN RESIDENTIAL
ZONING - URBAN RESIDENTIAL
TOTAL AREA OF SITE: 4.00 AC
FLOOD ZONES WITHIN LIMITS: X
NO PROTECTED TREES LOCATED ON SITE

NOTE: REFER TO ARCHITECTURAL PLANS FOR
RAMPS, HANDRAILS, AND STAIR DETAILS



July 1, 2020 (17:04:46 EST)
K:\K150127729_FLA_PC HOUSING AUTHORITY\PRODUCTION\50127729_SITE PLAN DWG C5 SITE PLAN BY: JODOM



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AUTHORITY
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PROJECT:

**NORTHGATE
TERRACE II
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PROJECT 2020
1915 WILSON
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CONSULTANTS:



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EB 0008794

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DOCUMENTS

SCALE: JUNE 2020	DATE: JUNE 2020
DRAWN: ODOM	CHECKED: M.HURST

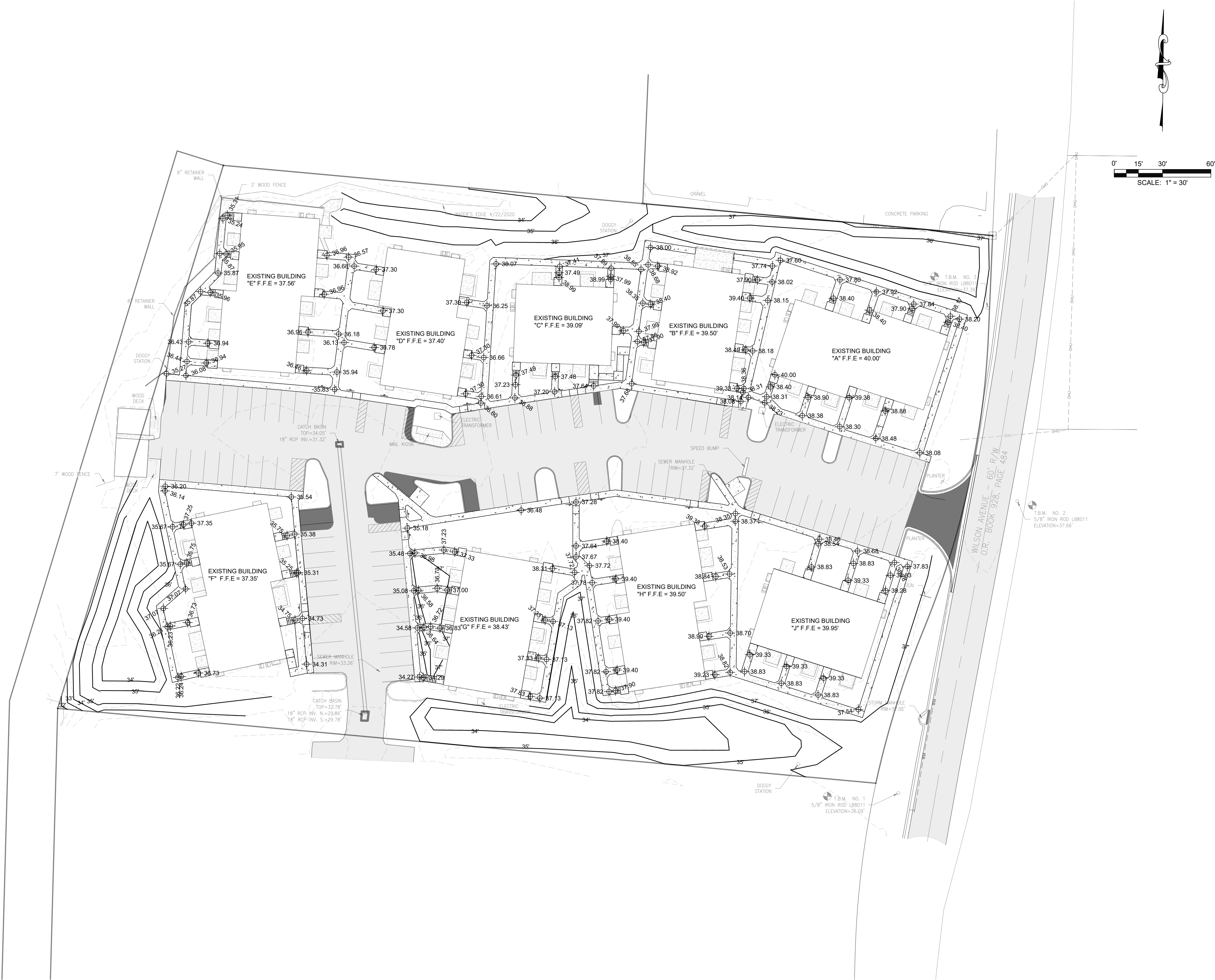
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EET TITLE:

SITE PLAN

PROJECT NO. 50127729	SHEET C5.00
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July 1, 2020 (17:04:46 EST)
K:\50127729_FLA_PC HOUSING AUTHORITY_Civil\3D\FOLDER_PRODUCTION\50127729_SITE PLANNING CG GRADING PLAN BY: JODOM



0' 15' 30' 60'
SCALE: 1" = 30'



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Panama City, FL 32401
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AUTHORITY
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PROJECT:

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EB 0008794

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SCALE: JUNE 2020	DATE: JUNE 2020
DRAWN: J.ODOM	CHECKED: M. HURST

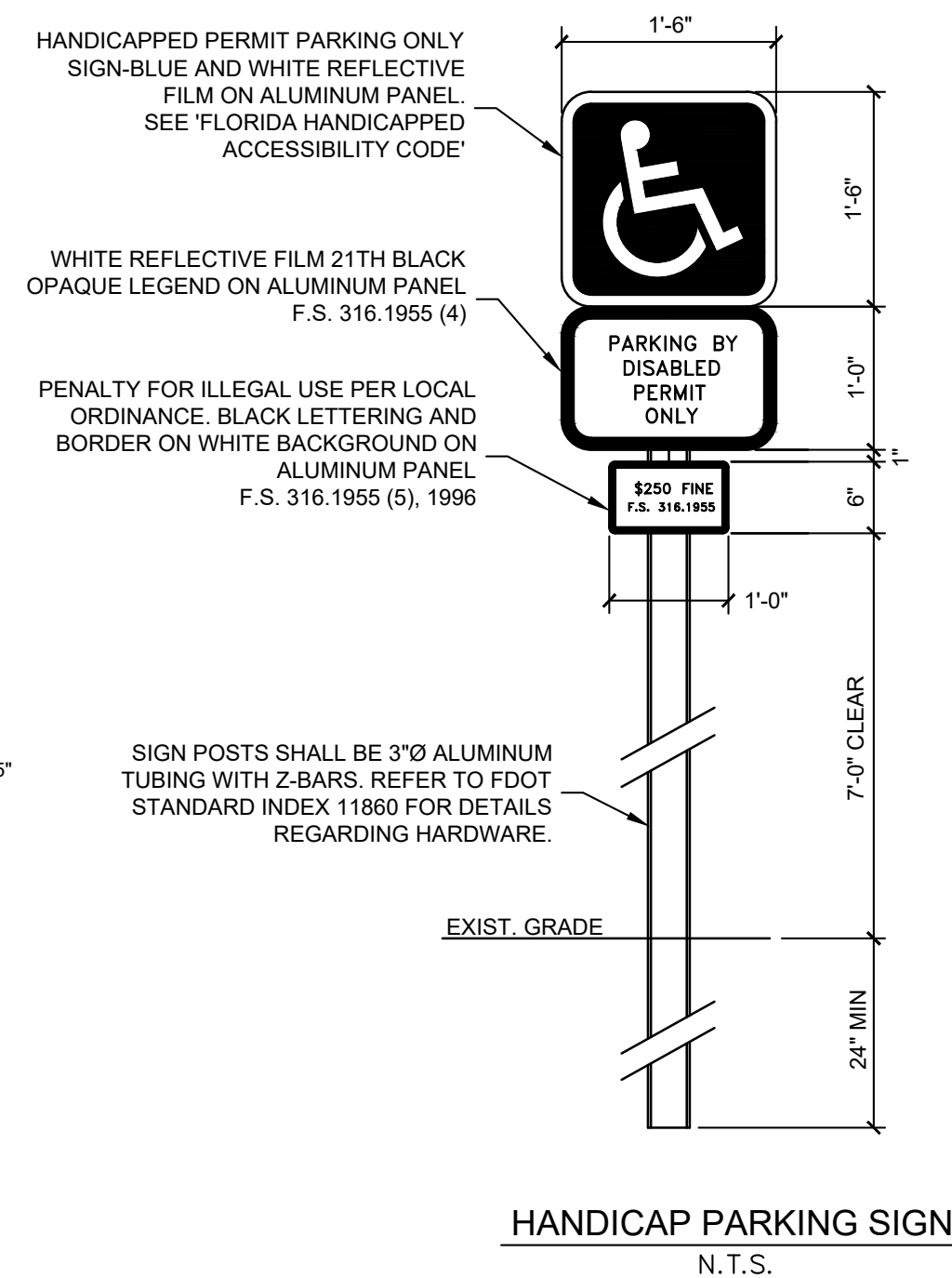
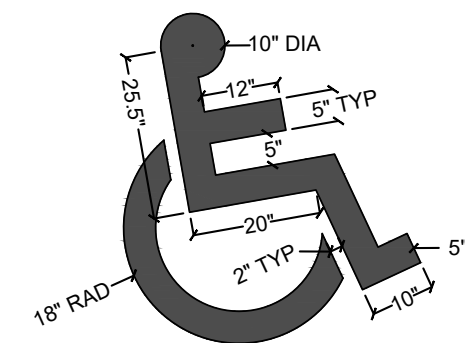
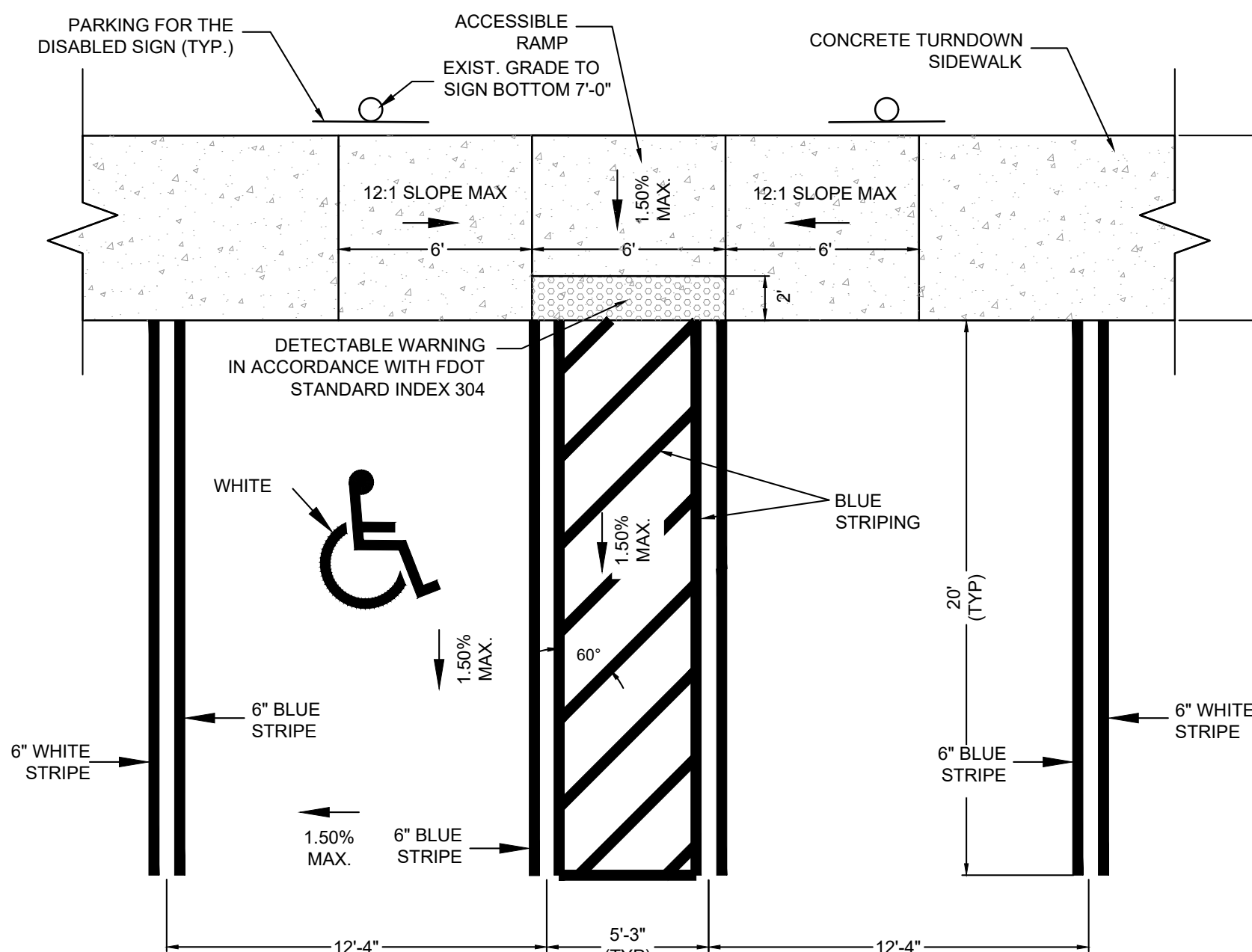
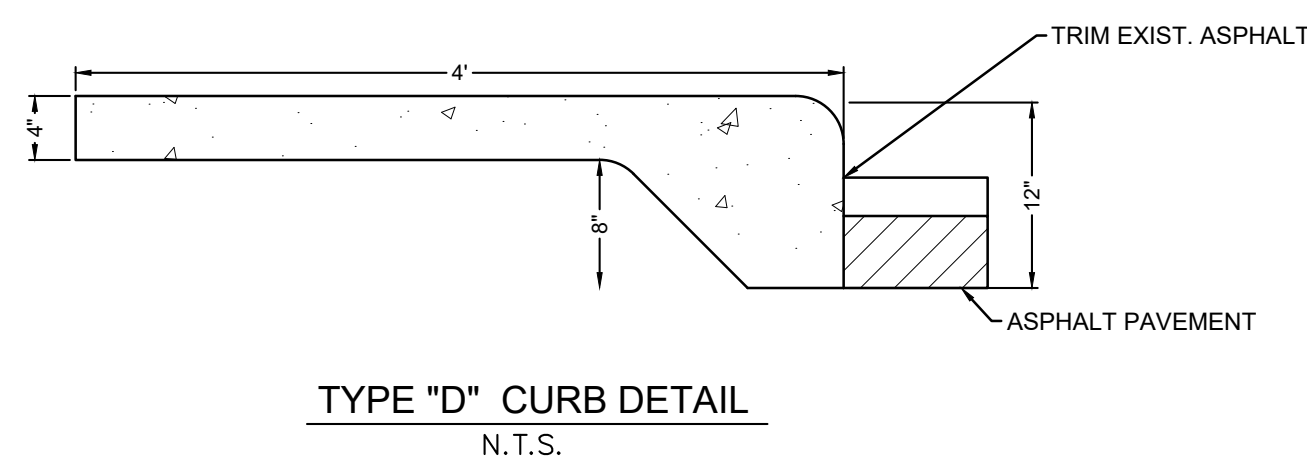
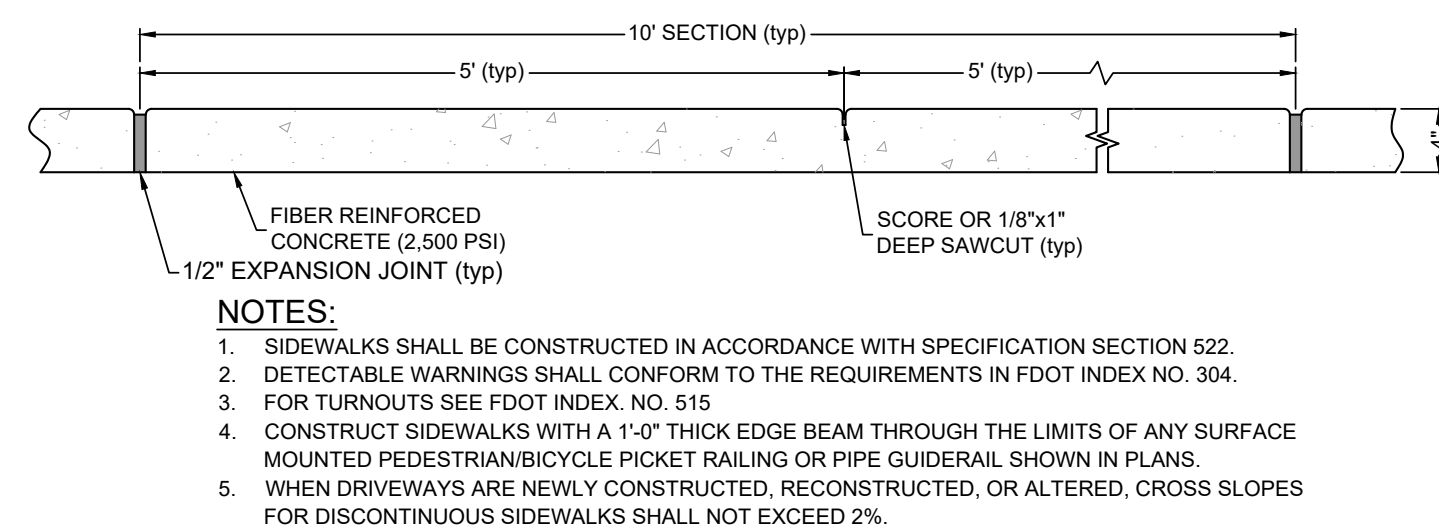
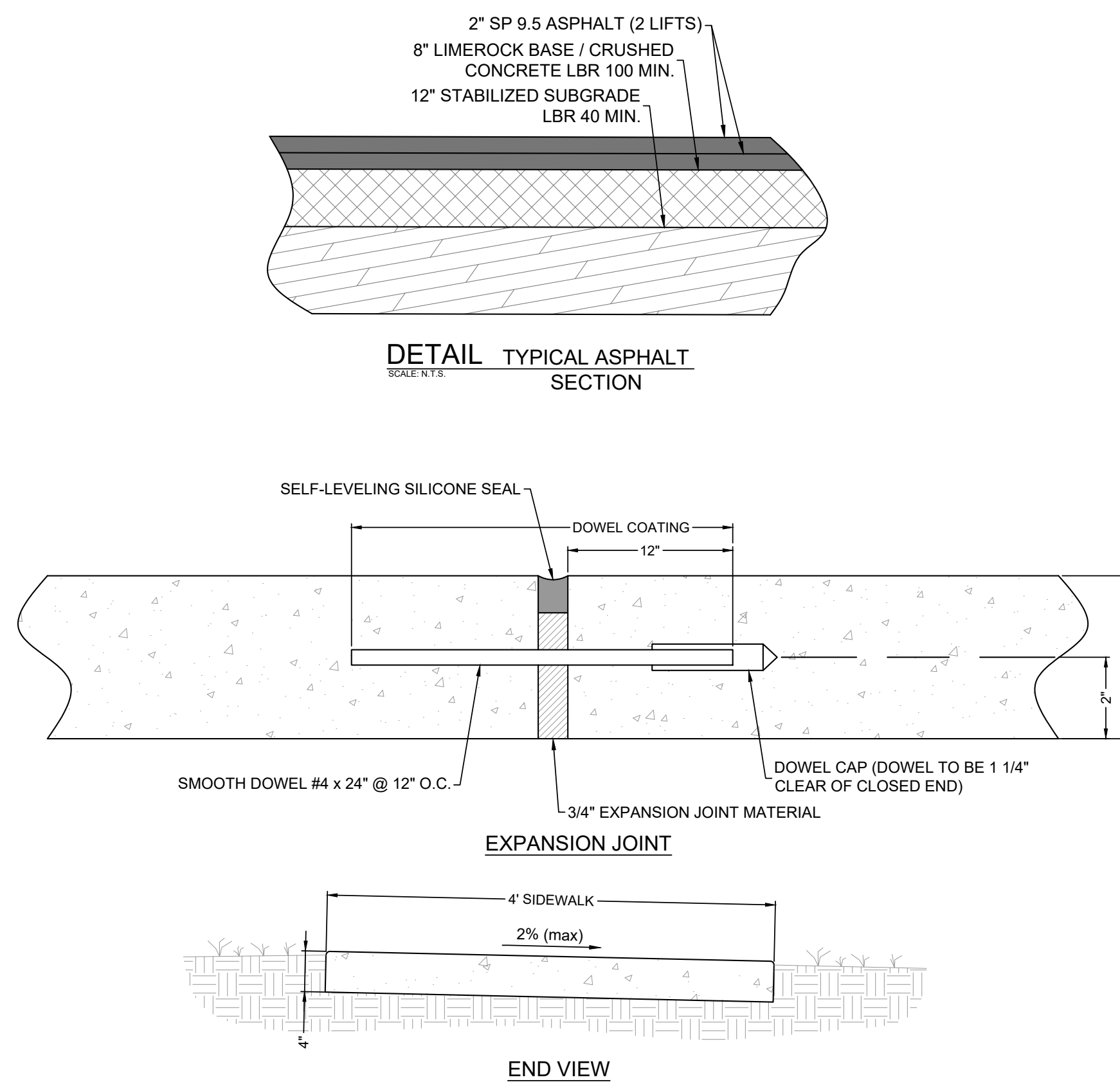
NO.	REVISION:	DATE:
1	REPLACE SHEET	7/1/2020

SHEET TITLE:

GRADING PLAN

PROJECT NO.
50127729

SHEET
C6.00



- NOTES:
1. "COLOR CONTRAST CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND - EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
 2. EACH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY," OR BEARING BOTH SUCH SYMBOL AND CAPTION. SUCH SIGNS SHALL NOT BE OCCUPIED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION.

TYPICAL STRIPING AND PARKING DIMENSIONS FOR PERPENDICULAR PARKING

N.T.S.

June 18, 2020 (13:53:50 EST)
K:\15072729_FLA_PC HOUSING AUTHORITY\CIVIL3\FOLDER1\PRODUCTION\50127229_DETAILS.DWG D1 MISC. DETAILS BY: JODOM



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PROJECT:

**NORTHGATE
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IMPROVEMENTS
PROJECT 2020
1915 WILSON
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BID
DOCUMENTS[illegible]

SHEET TITLE

MISC. DETAILS

PROJECT NO. 50127729	SHEET C7.00
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