ADDENDUM No. ONE (1) TO PROJECT DOCUMENTS
PANAMA CITY HOUSING AUTHORITY
NORTHGATE TERRACE II
RENOVATIONS & REPAIRS PROJECT PCHA RFP #2020-02
Panama City, FL
FLA Project No. 4274-08



ADDENDUM NO. ONE (1)

The Construction Drawings and/or Project Manual for the above project are amended in the following particulars and in these particulars only. All provisions of the original drawings and/or specifications shall remain in force, except as specifically modified or changed herein or by other Addenda issued by the Architect. This Addendum is hereby made part of the Contract Documents. Be sure to note Addenda on Acknowledgment on Bid Proposal Forms.

GENERAL PROJECT INFORMATION:

The set of drawings has undergone numerous changes, for clarity replace entire original set of drawings with attached set of drawings.

RESPONSES TO QUESTIONS RECEIVED DURING BIDDING:

PROJECT MANUAL/SPECIFICATIONS/CLARIFICATIONS (PM):

Item No. PM-1: None

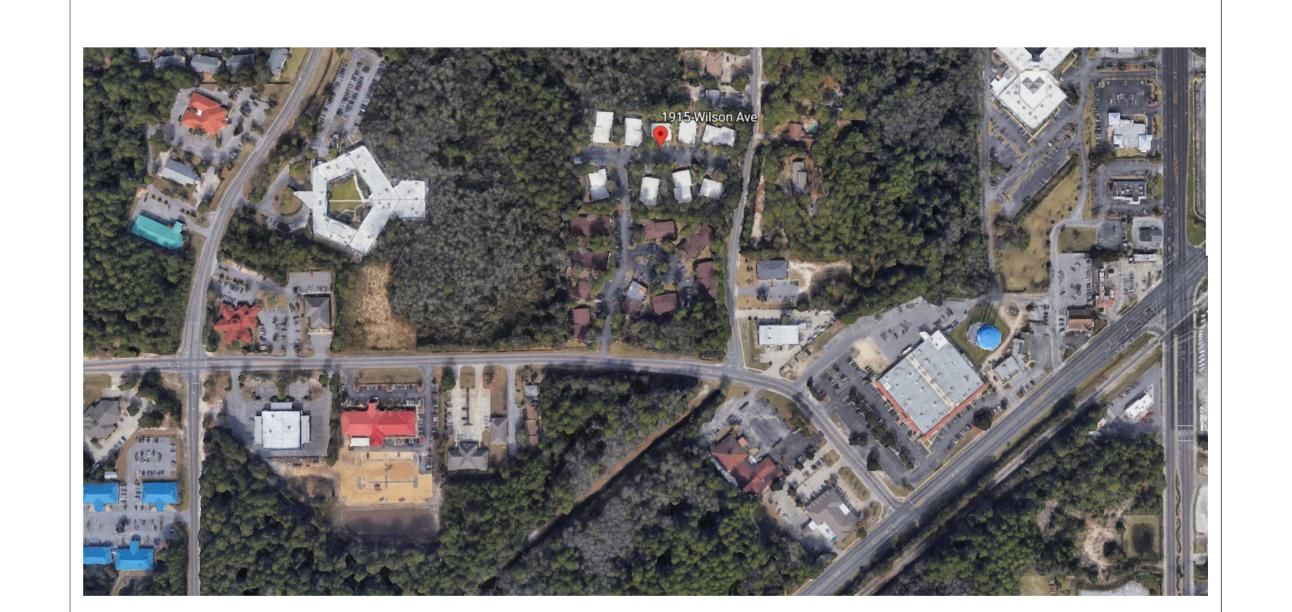
DRAWINGS:

Item No. D-1: The attached set of drawings replaces original set. Sheets revised have a 7/1/2020 revision date.

End of Addendum No. 1

Attachments:

Bid Set Drawings revised 7/1/2020.



NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

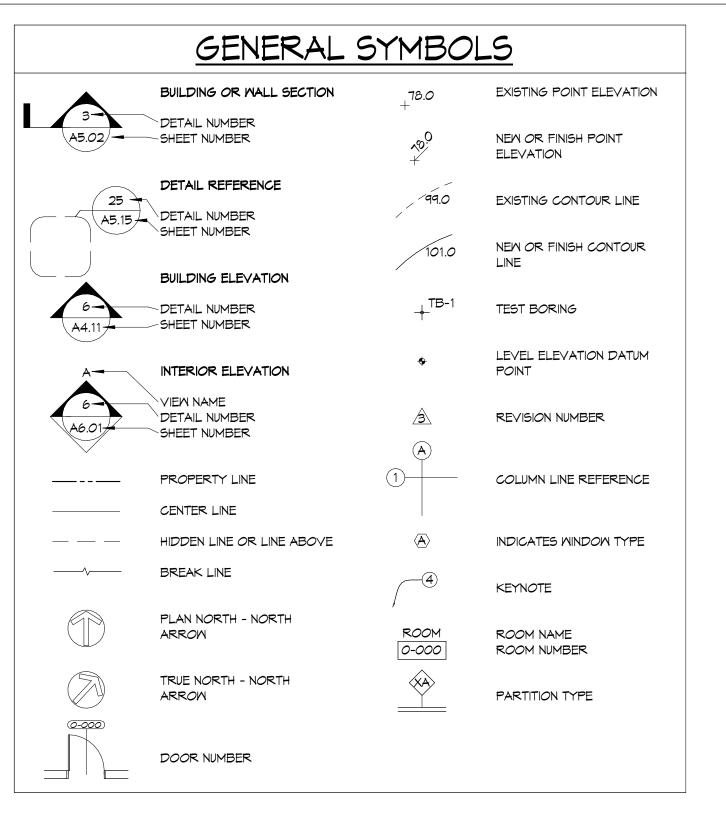
1915 WILSON AVENUE, PANAMA CITY, FLORIDA 32405 (850) 769-5278

BID SET

JUNE 18, 2020 REVISED PER ADDENDUM #1 7/1/2020 REPLACE ALL SHEETS

PROJECT DETAILS:





DESIGN CODES

FLORIDA BUILDING CODE, 5TH EDITION (2017) - BUILDING FLORIDA BUILDING CODE- 5TH EDITION (2017) - ACCESSIBILITY FLORIDA BUILDING CODE- 5TH EDITION (2017) - TEST PROTOCOLS FLORIDA BUILDING CODE- 5TH EDITION (2017) - MECHANICAL FLORIDA BUILDING CODE- 5TH EDITION (2017) - PLUMBING FLORIDA BUILDING CODE- 5TH EDITION (2017) - FUEL GAS FLORIDA FIRE PREVENTION CODE, 5TH EDITION (2014) NFPA 101- LIFE SAFETY CODE (2018 EDITION)

INDEX OF DRAWINGS:

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A4.00	DOOR AND WINDOW DETAILS			

PROJECT DIRECTORY:

103 WEST 5TH STREET,

DEMBERRY

PANAMA CITY, FL 32401 PHONE: (850) 257-5400

203 ABERDEEN PARKWAY PANAMA CITY, FL 32405

PHONE: (850) 571-1180

ARCHITECTURAL
FLORIDA ARCHITECTS, INC.

CIVIL		
SHEET NUMBER	SHEET NAME	
CO.00	CIVIL COVER SHEET	
C1.00	GENERAL NOTES	
C2.00	SMPPP	
C3.00	EXISTING CONDITIONS	
C4.00	DEMO	
C5.00	SITE PLAN	
C6.00	GRADING PLAN	
C7.00	MISC.	

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:

PANAMA CITY HOUSING 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT: NORTHGATE TERRACE II **IMPROVEMENTS**

PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



BID SET

6" = 1'-0" REVISION: REPLACE ENTIRE | 7/1/2020

COVER SHEET

A0.00 4247-09



FLORIDA ARCHITECTS
LICENSE #AA0002730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT: NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



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SHEET TITLE:

EXISTING SITE PLAN

PROJECT NO. 4247-09

SHEET NO. **A0.01**



- (2) REMOVE EXISTING SIDEWALKS
- (3) REMOVE ALL REMAINING PATIO AND COMMON AREA FENCING(4) REMOVE EXISTING PAVEMENT AS REQUIRED FOR LEVEL HANDICAP SPACE AND AISLE
- CUT EDGE OF PAVEMENT BACK TO LEAVE 22' WIDE ROADWAYS WITH 20' DEEP PARKING SPACE ON EITHER SIDE REMOVE OBSTRUCTIONS AROUND ENTRANCE IN PREPERATION FOR THE ENTRANCE TO WIDEN
- REMOVE DUMPSTER PADS
- (8) REMOVE EXISTING ROOF FROM EACH BUILDING/UNIT (9) REMOVE ALL EXTERIOR DOORS FROM EACH BUILDING/UNIT
- (10) REMOVE EXISTING CONCRETE PATIO IN PREPARATION FOR GRADE CHANGES FOR NEW RAMPS, SIDEMALKS AND STEPS.

ALTERNATE #1:

[1] REMOVE ALL EXISTING WINDOWS FROM EACH BUILDING/UNIT



103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020 1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:

Dewberry

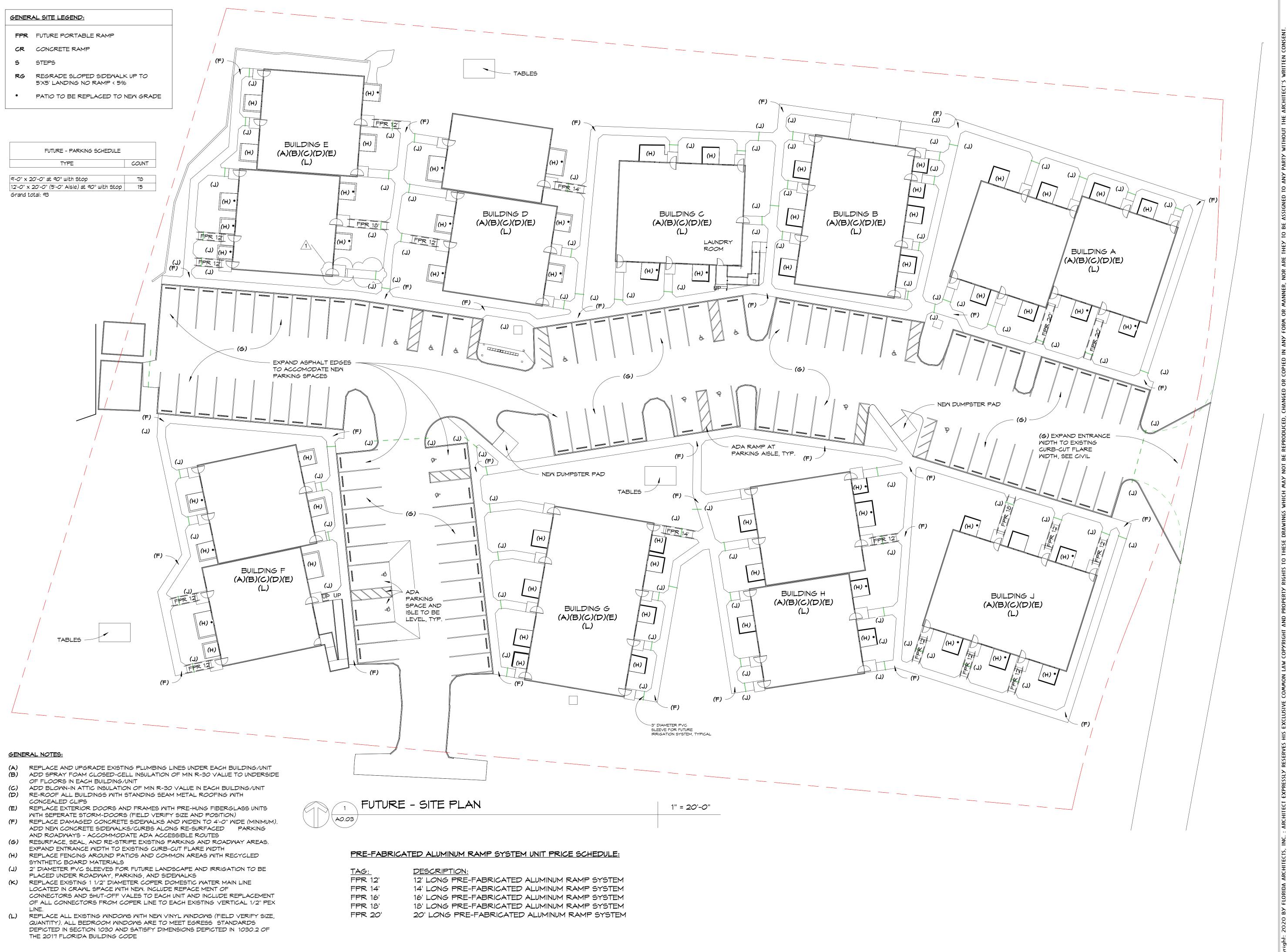
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DEMOLITION SITE PLAN

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4247-09

A0.02



FLORIDA ARCHITECTS
LICENSE #AA0002730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

> PROJECT: THGATE TERRA

NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



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ARCHITECTURAL SITE PLAN

PROJECT NO. 4247-09

A0.03



FPR FUTURE PORTABLE RAMP

CR CONCRETE RAMP

S STEPS

RG REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%

* PATIO TO BE REPLACED TO NEW GRADE

GENERAL NOTES:

(A) REPLACE AND UPGRADE EXISTING PLUMBING LINES UNDER EACH BUILDING/UNIT

(B) ADD SPRAY FOAM CLOSED-CELL INSULATION OF MIN R-30 VALUE TO UNDERSIDE OF FLOORS IN EACH BUILDING/UNIT

(C) ADD BLOWN-IN ATTIC INSULATION OF MIN R-30 VALUE IN EACH BUILDING/UNIT

(D) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS

(E) REPLACE EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS
WITH SEPERATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION)

(F) REPLACE DAMAGED CONCRETE SIDEWALKS AND WIDEN TO 4'-0" WIDE (MINIMUM).
ADD NEW CONCRETE SIDEWALKS/CURBS ALONG RE-SURFACED PARKING
AND ROADWAYS - ACCOMMODATE ADA ACCESSIBLE ROUTES

(G) RESURFACE, SEAL, AND RE-STRIPE EXISTING PARKING AND ROADWAY AREAS.
 EXPAND ENTRANCE WIDTH TO EXISTING CURB-CUT FLARE WIDTH
 (H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED

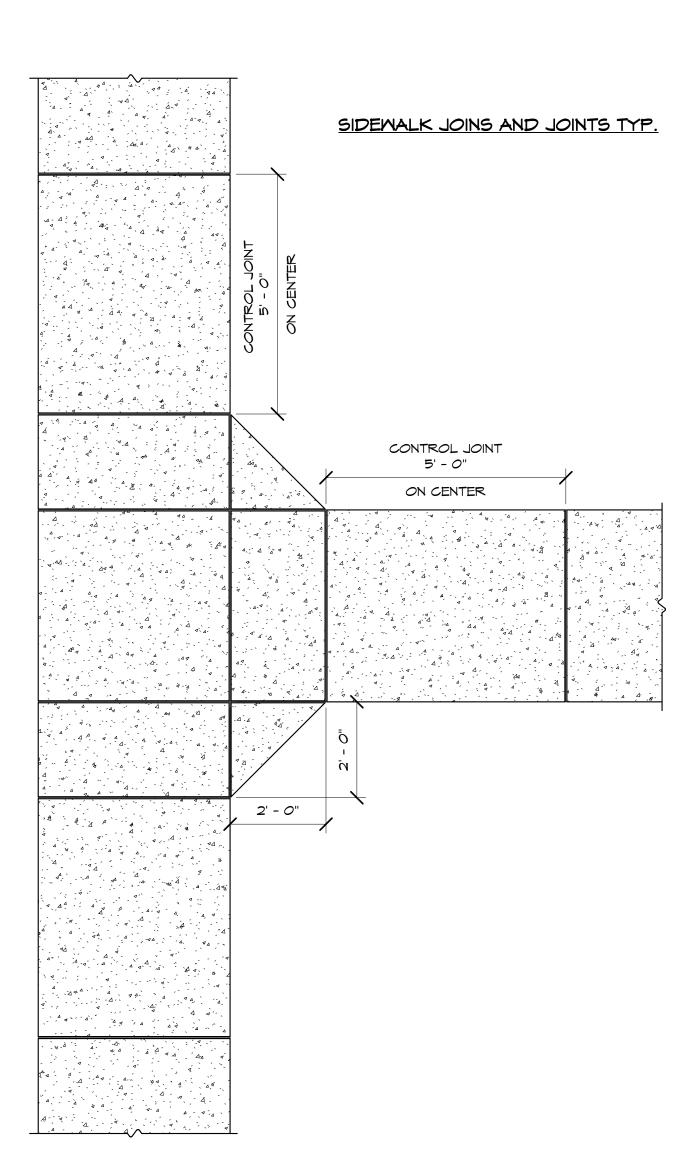
SYNTHETIC BOARD MATERIALS

2" DIAMETER PVC SLEEVES FOR FUTURE LANDSCAPE AND IRRIGATION TO BE

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(K) REPLACE EXISTING 1 1/2" DIAMETER COPER DOMESTIC WATER MAIN LINE LOCATED IN CRAWL SPACE WITH NEW. INCLUDE REPACE MENT OF CONNECTORS AND SHUT-OFF VALES TO EACH UNIT AND INCLUDE REPLACEMENT OF ALL CONNECTORS FROM COPER LINE TO EACH EXISTING VERTICAL 1/2" PEX

(L) REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS (FIELD VERIFY SIZE, QUANTITY). ALL BEDROOM WINDOWS ARE TO MEET EGRESS STANDARDS DEPICTED IN SECTION 1030 AND SATISFY DIMENSIONS DEPICTED IN 1030.2 OF THE 2017 FLORIDA BUILDING CODE





103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

IMPROVEMENTS
PROJECT 2020

NORTHGATE TERRACE II

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



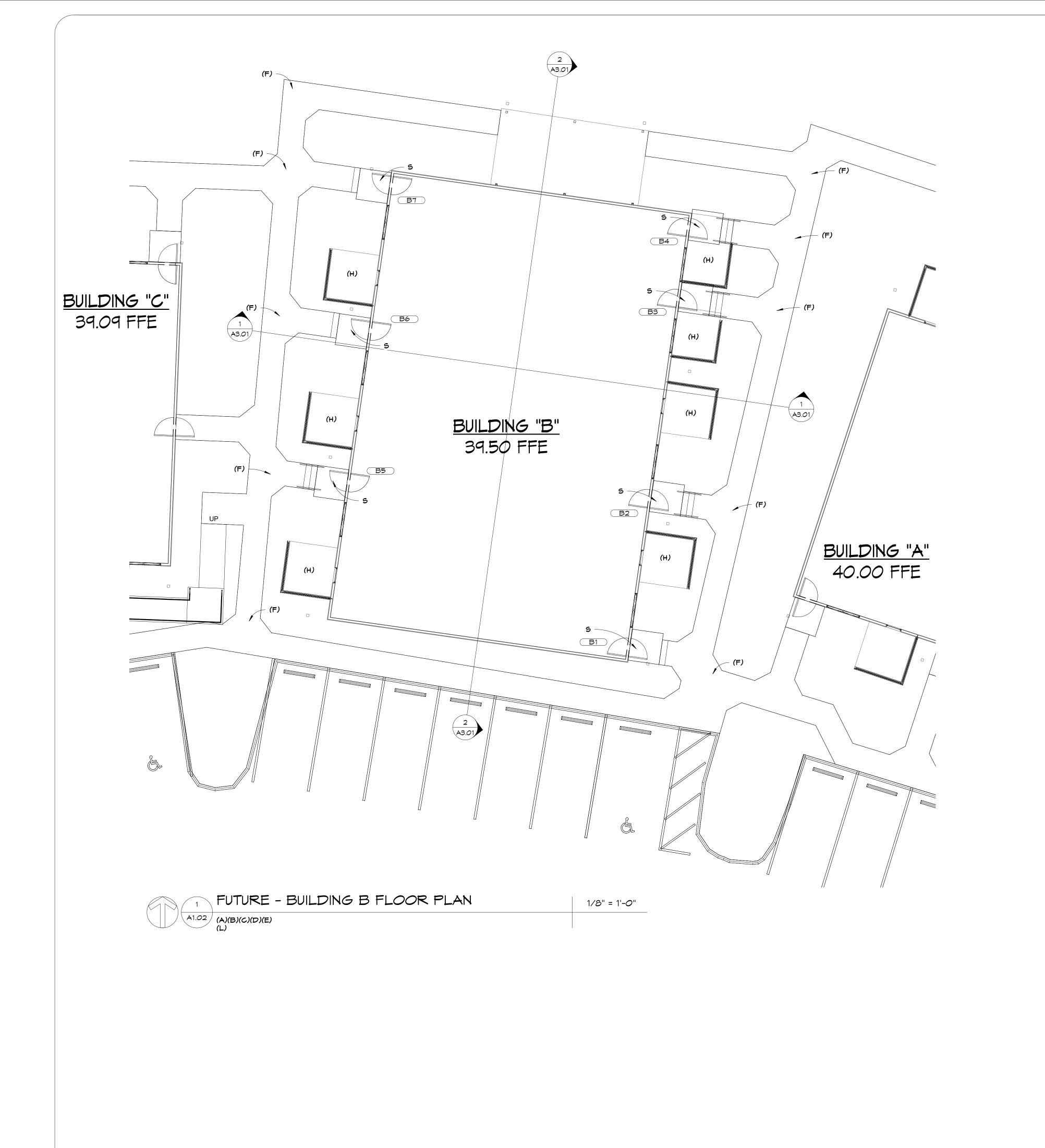
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ARCHITECTURAL SITE PLAN BUILDING A

PROJECT NO. 4247-09



FPR FUTURE PORTABLE RAMP

CR CONCRETE RAMP

S STEPS

RG REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%

* PATIO TO BE REPLACED TO NEW GRADE

GENERAL NOTES:

(A) REPLACE AND UPGRADE EXISTING PLUMBING LINES UNDER EACH BUILDING/UNIT
(B) ADD SPRAY FOAM CLOSED-CELL INSULATION OF MIN R-30 VALUE TO UNDERSIDE

OF FLOORS IN EACH BUILDING/UNIT

ADD BLOWN-IN ATTIC INSULATION OF MIN R-30 VALUE IN EACH BUILDING/UNIT

PRE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS

REPLACE EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS WITH SEPERATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION)

REPLACE DAMAGED CONCRETE SIDEWALKS AND WIDEN TO 4'-0" WIDE (MINIMUM).

ADD NEW CONCRETE SIDEWALKS/CURBS ALONG RE-SURFACED PARKING

AND ROADWAYS - ACCOMMODATE ADA ACCESSIBLE ROUTES

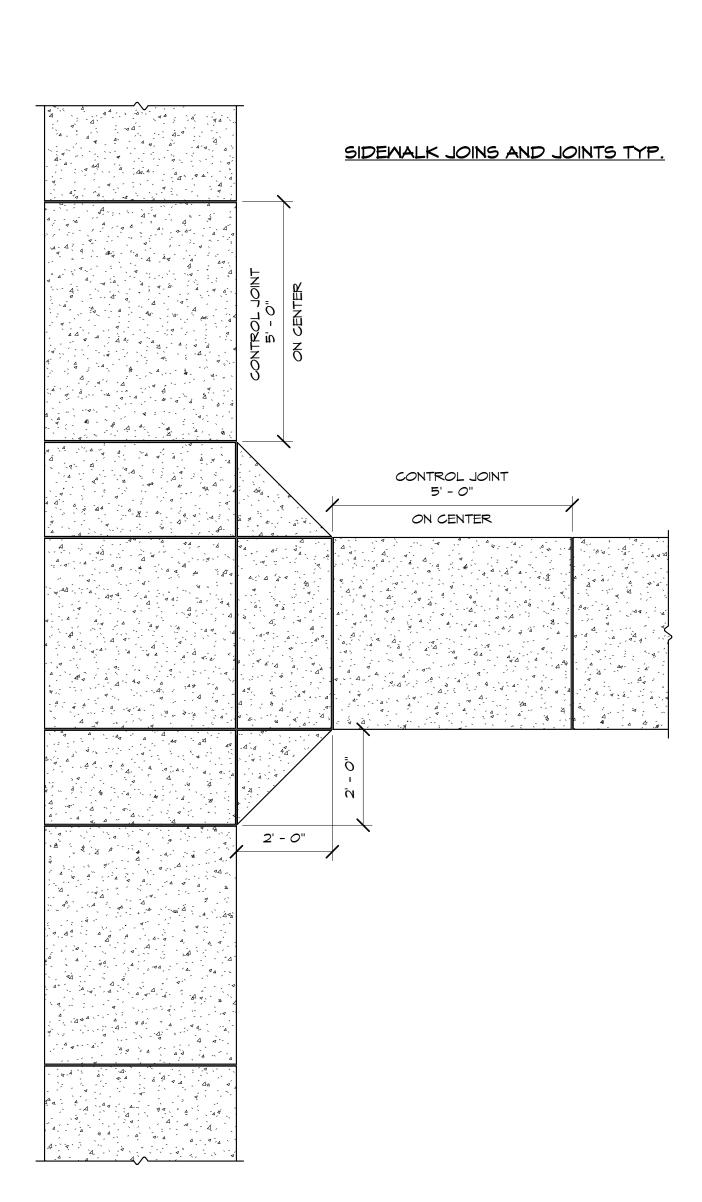
(G) RESURFACE, SEAL, AND RE-STRIPE EXISTING PARKING AND ROADWAY AREAS. EXPAND ENTRANCE WIDTH TO EXISTING CURB-CUT FLARE WIDTH

(H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED SYNTHETIC BOARD MATERIALS

(J) 2" DIAMETER PVC SLEEVES FOR FUTURE LANDSCAPE AND IRRIGATION TO BE PLACED UNDER ROADWAY, PARKING, AND SIDEWALKS

K) REPLACE EXISTING 1 1/2" DIAMETER COPER DOMESTIC WATER MAIN LINE LOCATED IN CRAWL SPACE WITH NEW. INCLUDE REPACE MENT OF CONNECTORS AND SHUT-OFF VALES TO EACH UNIT AND INCLUDE REPLACEMENT OF ALL CONNECTORS FROM COPER LINE TO EACH EXISTING VERTICAL 1/2" PEX

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103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



SEAL:

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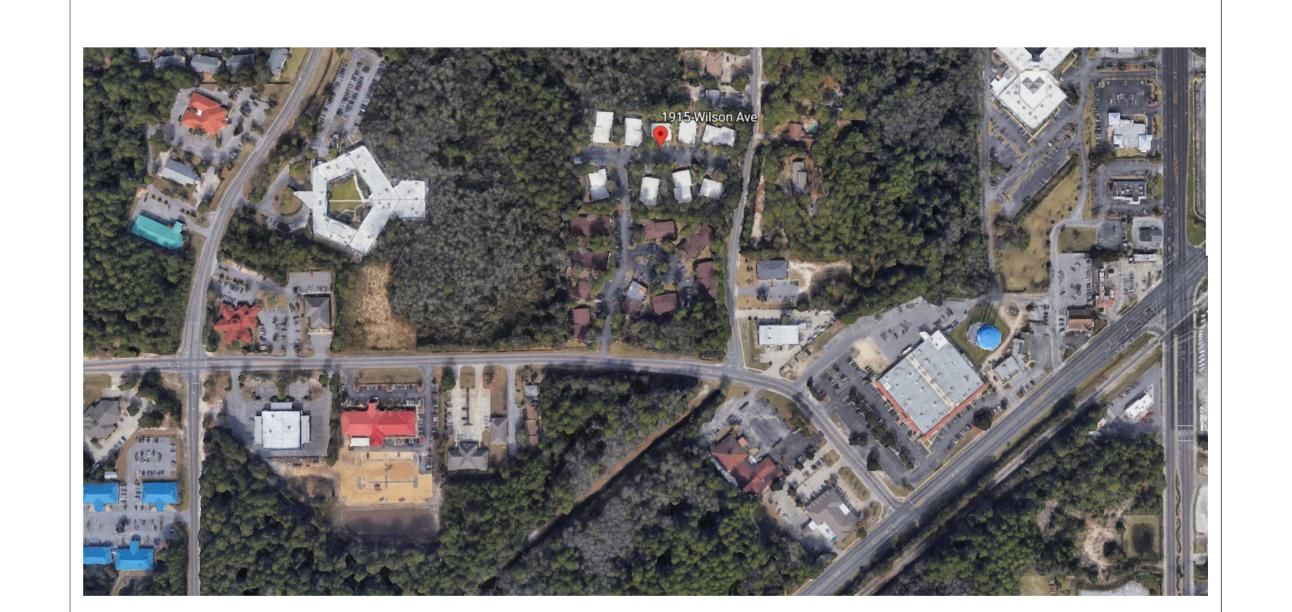
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SHEET TITLE:

ARCHITECTURAL SITE PLAN BUILDING B

PROJECT NO. 4247-09

SHEET NO.
A1.02



NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

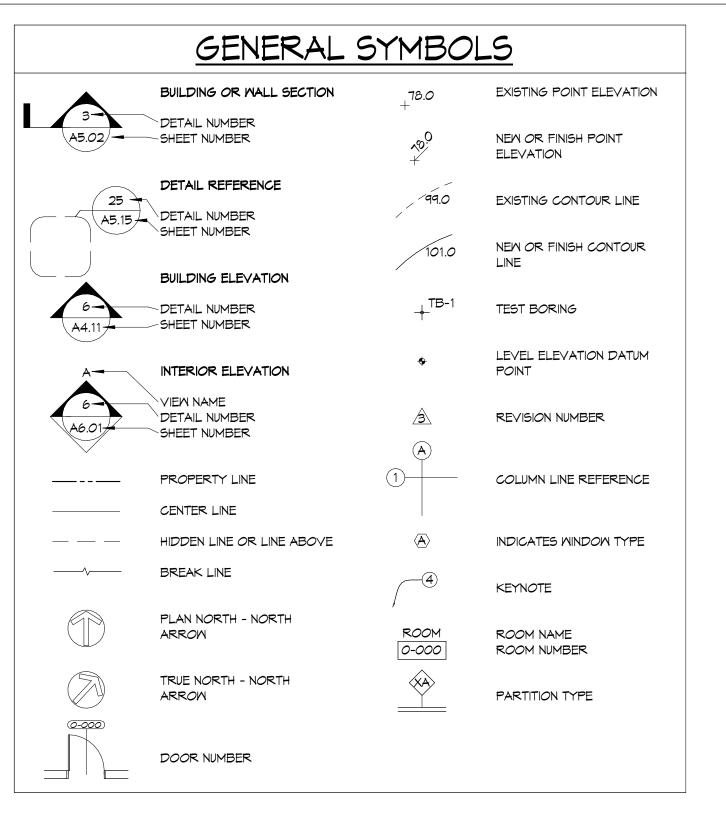
1915 WILSON AVENUE, PANAMA CITY, FLORIDA 32405 (850) 769-5278

BID SET

JUNE 18, 2020 REVISED PER ADDENDUM #1 7/1/2020 REPLACE ALL SHEETS

PROJECT DETAILS:





DESIGN CODES

FLORIDA BUILDING CODE, 5TH EDITION (2017) - BUILDING FLORIDA BUILDING CODE- 5TH EDITION (2017) - ACCESSIBILITY FLORIDA BUILDING CODE- 5TH EDITION (2017) - TEST PROTOCOLS FLORIDA BUILDING CODE- 5TH EDITION (2017) - MECHANICAL FLORIDA BUILDING CODE- 5TH EDITION (2017) - PLUMBING FLORIDA BUILDING CODE- 5TH EDITION (2017) - FUEL GAS FLORIDA FIRE PREVENTION CODE, 5TH EDITION (2014) NFPA 101- LIFE SAFETY CODE (2018 EDITION)

INDEX OF DRAWINGS:

ARCHITECTURAL				
SHEET NUMBER SHEET NAME				
AO.00	COVER SHEET			
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A1.02	ARCHITECTURAL SITE PLAN BUILDING B			
A1.03	ARCHITECURAL SITE PLAN BUILDING C			
A1.04	ARCHITECTURAL SITE PLAN BUILDING D			
A1.05	ARCHITECTURAL SITE PLAN BUILDING E			
A1.06	ARCHITECTURAL SITE PLAN BUILDING F			
A1.07	ARCHITECTURAL SITE PLAN BUILDING G			
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A4.00	DOOR AND WINDOW DETAILS			

PROJECT DIRECTORY:

103 WEST 5TH STREET,

DEMBERRY

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ARCHITECTURAL
FLORIDA ARCHITECTS, INC.

CIVIL		
SHEET NUMBER	SHEET NAME	
CO.00	CIVIL COVER SHEET	
C1.00	GENERAL NOTES	
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C6.00	GRADING PLAN	
C7.00	MISC.	

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:

PANAMA CITY HOUSING 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT: NORTHGATE TERRACE II **IMPROVEMENTS**

PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:

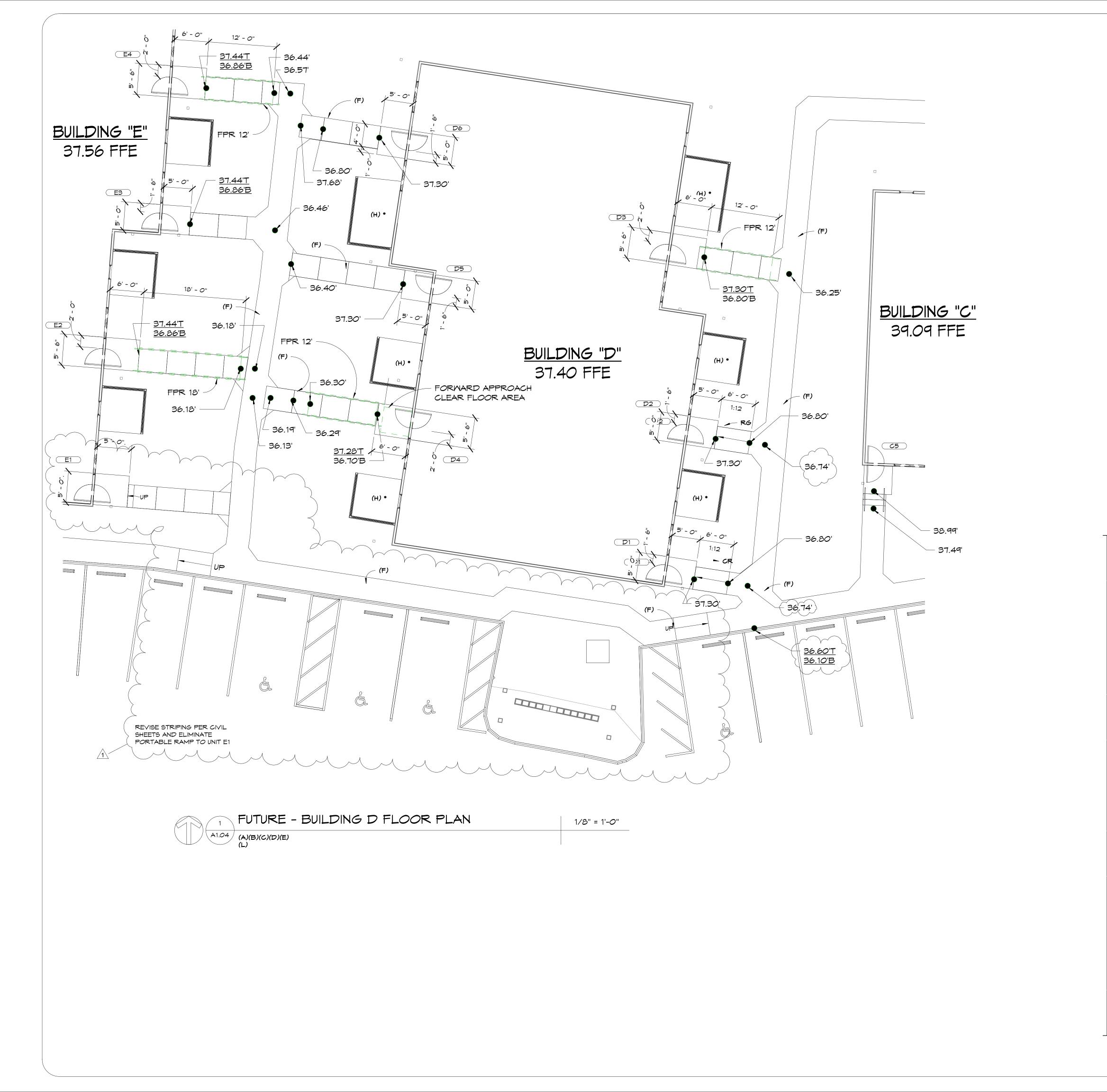


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6" = 1'-0" REVISION: REPLACE ENTIRE | 7/1/2020

COVER SHEET

A0.00 4247-09



FPR FUTURE PORTABLE RAMP

CR CONCRETE RAMP

S STEPS

RG REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%

PATIO TO BE REPLACED TO NEW GRADE

GENERAL NOTES:

(A) REPLACE AND UPGRADE EXISTING PLUMBING LINES UNDER EACH BUILDING/UNIT

(B) ADD SPRAY FOAM CLOSED-CELL INSULATION OF MIN R-30 VALUE TO UNDERSIDE OF FLOORS IN EACH BUILDING/UNIT

ADD BLOWN-IN ATTIC INSULATION OF MIN R-30 VALUE IN EACH BUILDING/UNIT

P) RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH CONCEALED CLIPS

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AND ROADWAYS - ACCOMMODATE ADA ACCESSIBLE ROUTES

(G) RESURFACE, SEAL, AND RE-STRIPE EXISTING PARKING AND ROADWAY AREAS.

EXPAND ENTRANCE WIDTH TO EXISTING CURB-CUT FLARE WIDTH

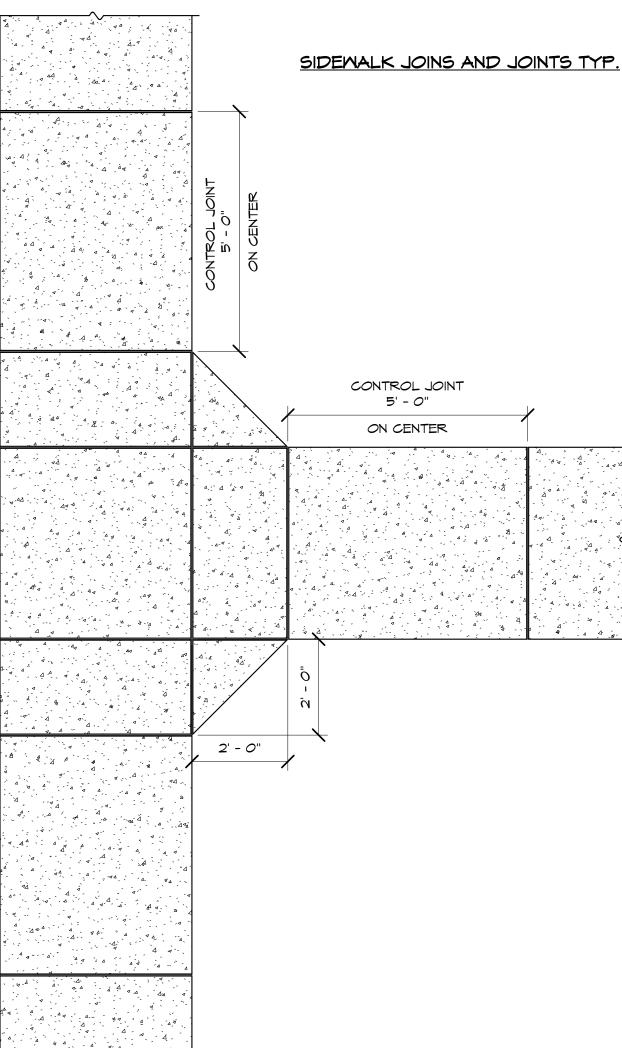
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(K) REPLACE EXISTING 1 1/2" DIAMETER COPER DOMESTIC WATER MAIN LINE

LOCATED IN CRAWL SPACE WITH NEW. INCLUDE REPACE MENT OF
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103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:
NORTHGATE TERRACE II

IMPROVEMENTS
PROJECT 2020

1915 WILSON AVENUE,

PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



SEAL:

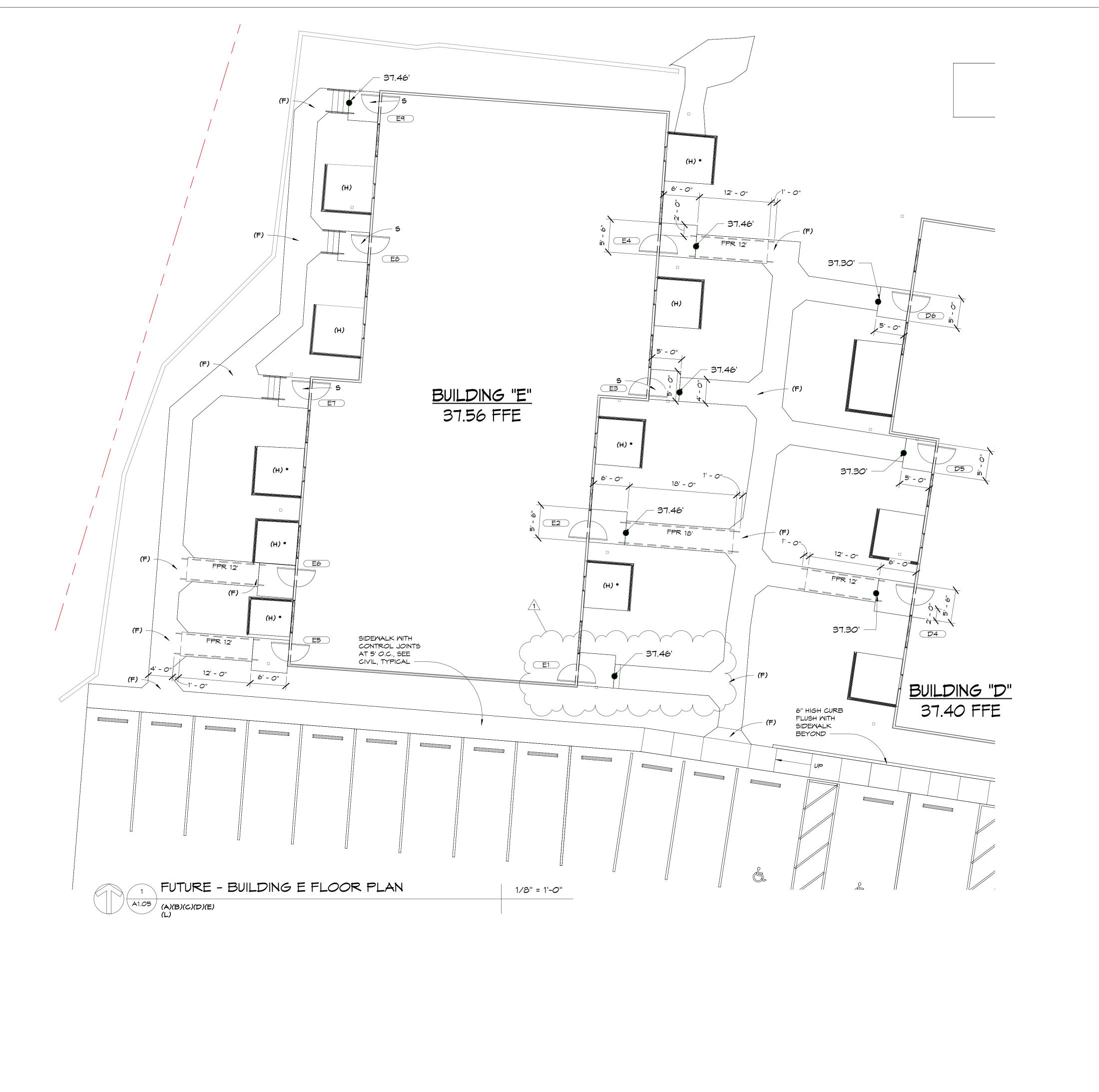
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SHEET TITLE:

ARCHITECTURAL SITE PLAN BUILDING D

PROJECT NO. 4247-09

NO. SHEET NO. A1.04



FPR FUTURE PORTABLE RAMP

CR CONCRETE RAMP

S STEPS

RG REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%

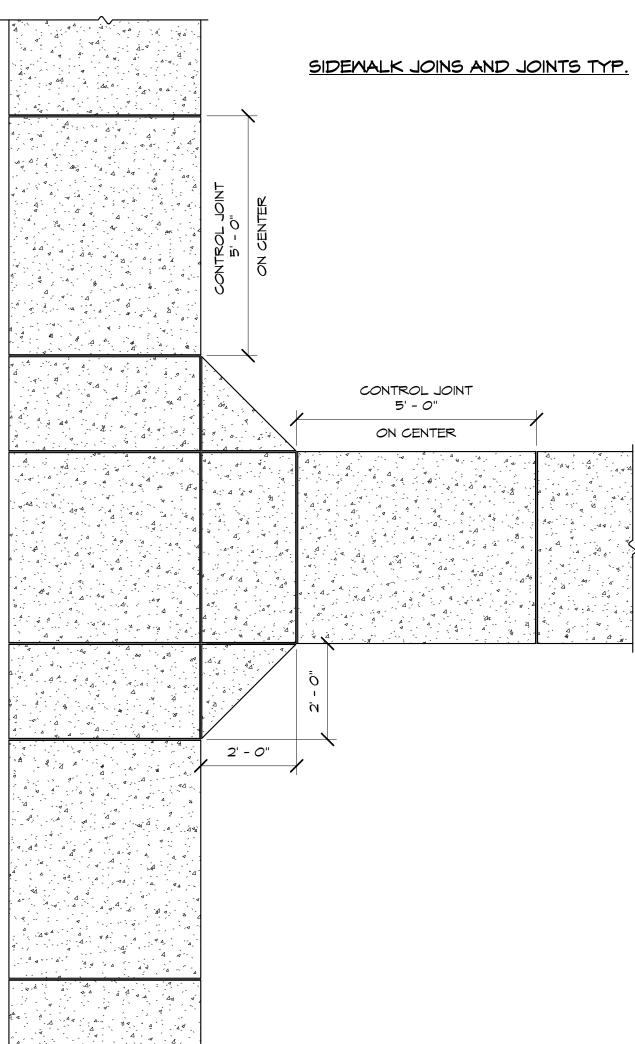
* PATIO TO BE REPLACED TO NEW GRADE

GENERAL NOTES:

- (A) REPLACE AND UPGRADE EXISTING PLUMBING LINES UNDER EACH BUILDING/UNIT ADD SPRAY FOAM CLOSED-CELL INSULATION OF MIN R-30 VALUE TO UNDERSIDE OF FLOORS IN EACH BUILDING/UNIT
- ADD BLOWN-IN ATTIC INSULATION OF MIN R-30 VALUE IN EACH BUILDING/UNIT RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH
- CONCEALED CLIPS REPLACE EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS WITH SEPERATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION)
- (F) REPLACE DAMAGED CONCRETE SIDEMALKS AND WIDEN TO 4'-0" WIDE (MINIMUM). ADD NEW CONCRETE SIDEWALKS/CURBS ALONG RE-SURFACED PARKING AND ROADWAYS - ACCOMMODATE ADA ACCESSIBLE ROUTES

(G) RESURFACE, SEAL, AND RE-STRIPE EXISTING PARKING AND ROADWAY AREAS.

- EXPAND ENTRANCE WIDTH TO EXISTING CURB-CUT FLARE WIDTH REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED
- SYNTHETIC BOARD MATERIALS 2" DIAMETER PVC SLEEVES FOR FUTURE LANDSCAPE AND IRRIGATION TO BE
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- LOCATED IN CRAML SPACE WITH NEW. INCLUDE REPACE MENT OF CONNECTORS AND SHUT-OFF VALES TO EACH UNIT AND INCLUDE REPLACEMENT OF ALL CONNECTORS FROM COPER LINE TO EACH EXISTING VERTICAL 1/2" PEX
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103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

NORTHGATE TERRACE II **IMPROVEMENTS** PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



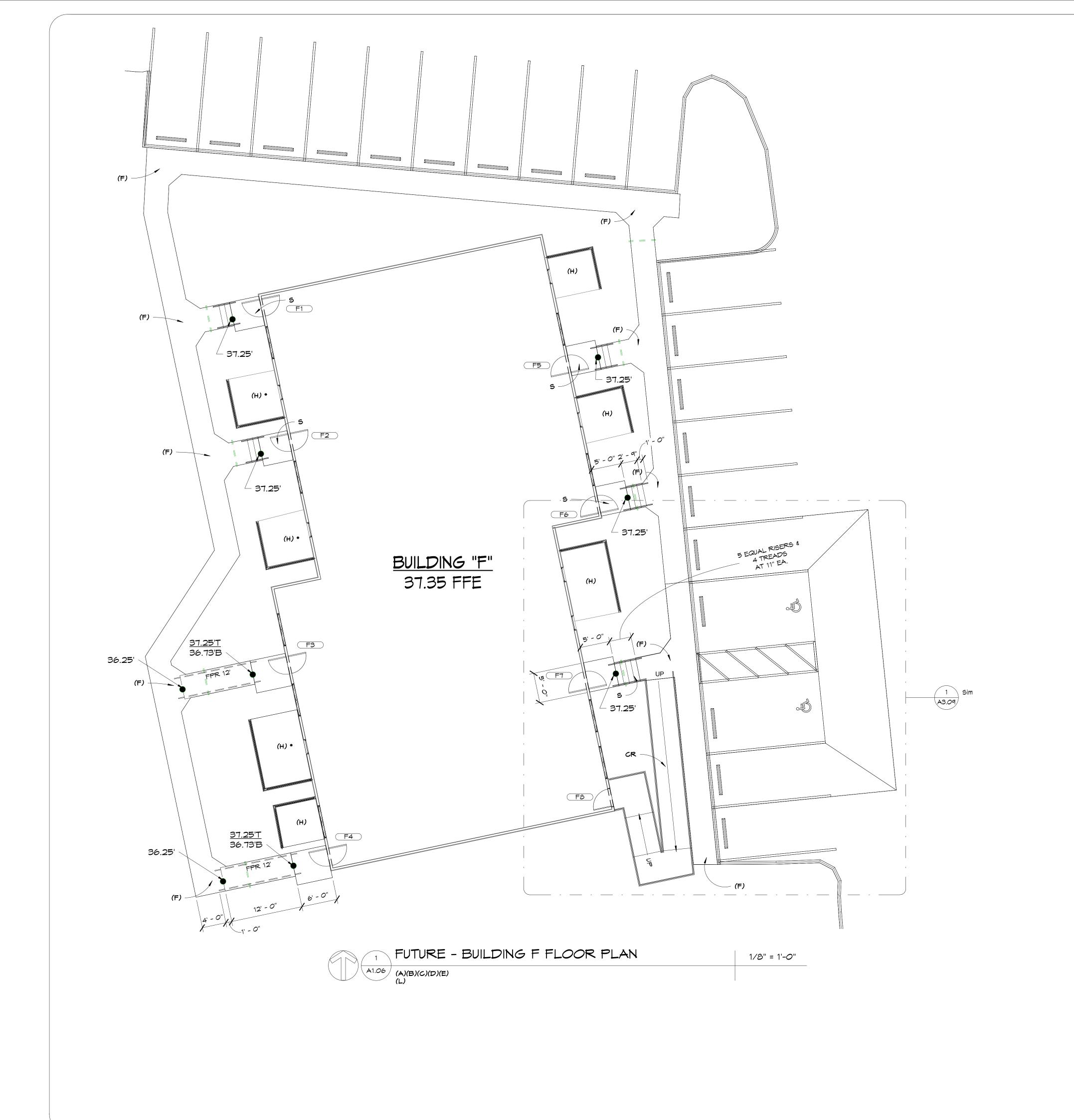
SEAL:

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SCALE: 6/18/2020 As indicated REVISION: REPLACE ENTIRE 7/1/2020

ARCHITECTURAL SITE PLAN **BUILDING E**

§ 4247-09



FPR FUTURE PORTABLE RAMP

CR CONCRETE RAMP

S STEPS

RG REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%

* PATIO TO BE REPLACED TO NEW GRADE

GENERAL NOTES:

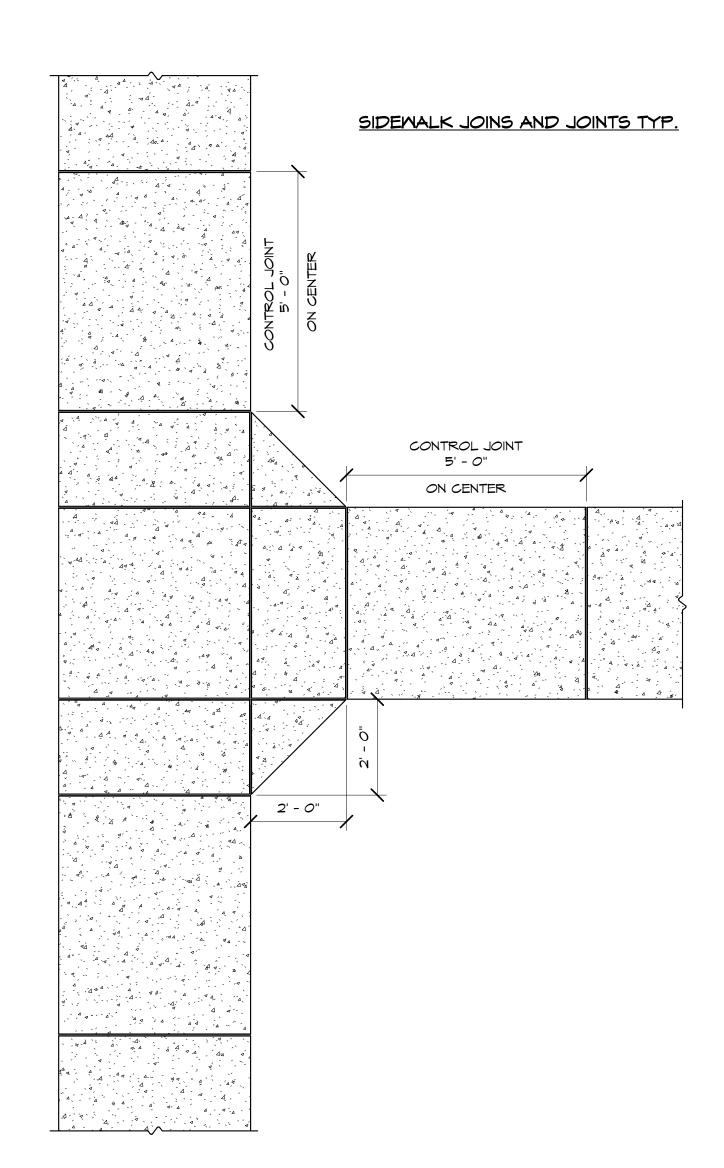
- (A) REPLACE AND UPGRADE EXISTING PLUMBING LINES UNDER EACH BUILDING/UNIT

 (B) ADD SPRAY FOAM CLOSED-CELL INSULATION OF MIN R-30 VALUE TO UNDERSIDE OF FLOORS IN EACH BUILDING/UNIT
- ADD BLOWN-IN ATTIC INSULATION OF MIN R-30 VALUE IN EACH BUILDING/UNIT

 RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH
- CONCEALED CLIPS
- REPLACE EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS WITH SEPERATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION)
- REPLACE DAMAGED CONCRETE SIDEWALKS AND WIDEN TO 4'-0" WIDE (MINIMUM).

 ADD NEW CONCRETE SIDEWALKS/CURBS ALONG RE-SURFACED PARKING

 AND ROADWAYS ACCOMMODATE ADA ACCESSIBLE ROUTES
- (G) RESURFACE, SEAL, AND RE-STRIPE EXISTING PARKING AND ROADWAY AREAS.
 EXPAND ENTRANCE WIDTH TO EXISTING CURB-CUT FLARE WIDTH
 (H) REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED
- SYNTHETIC BOARD MATERIALS
- J) 2" DIAMETER PVC SLEEVES FOR FUTURE LANDSCAPE AND IRRIGATION TO BE PLACED UNDER ROADWAY, PARKING, AND SIDEWALKS
- (K) REPLACE EXISTING 1 1/2" DIAMETER COPER DOMESTIC WATER MAIN LINE LOCATED IN CRAWL SPACE WITH NEW. INCLUDE REPACE MENT OF CONNECTORS AND SHUT-OFF VALES TO EACH UNIT AND INCLUDE REPLACEMENT OF ALL CONNECTORS FROM COPER LINE TO EACH EXISTING VERTICAL 1/2" PEX
- (L) REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS (FIELD VERIFY SIZE, QUANTITY). ALL BEDROOM WINDOWS ARE TO MEET EGRESS STANDARDS DEPICTED IN SECTION 1030 AND SATISFY DIMENSIONS DEPICTED IN 1030.2 OF THE 2017 FLORIDA BUILDING CODE





103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



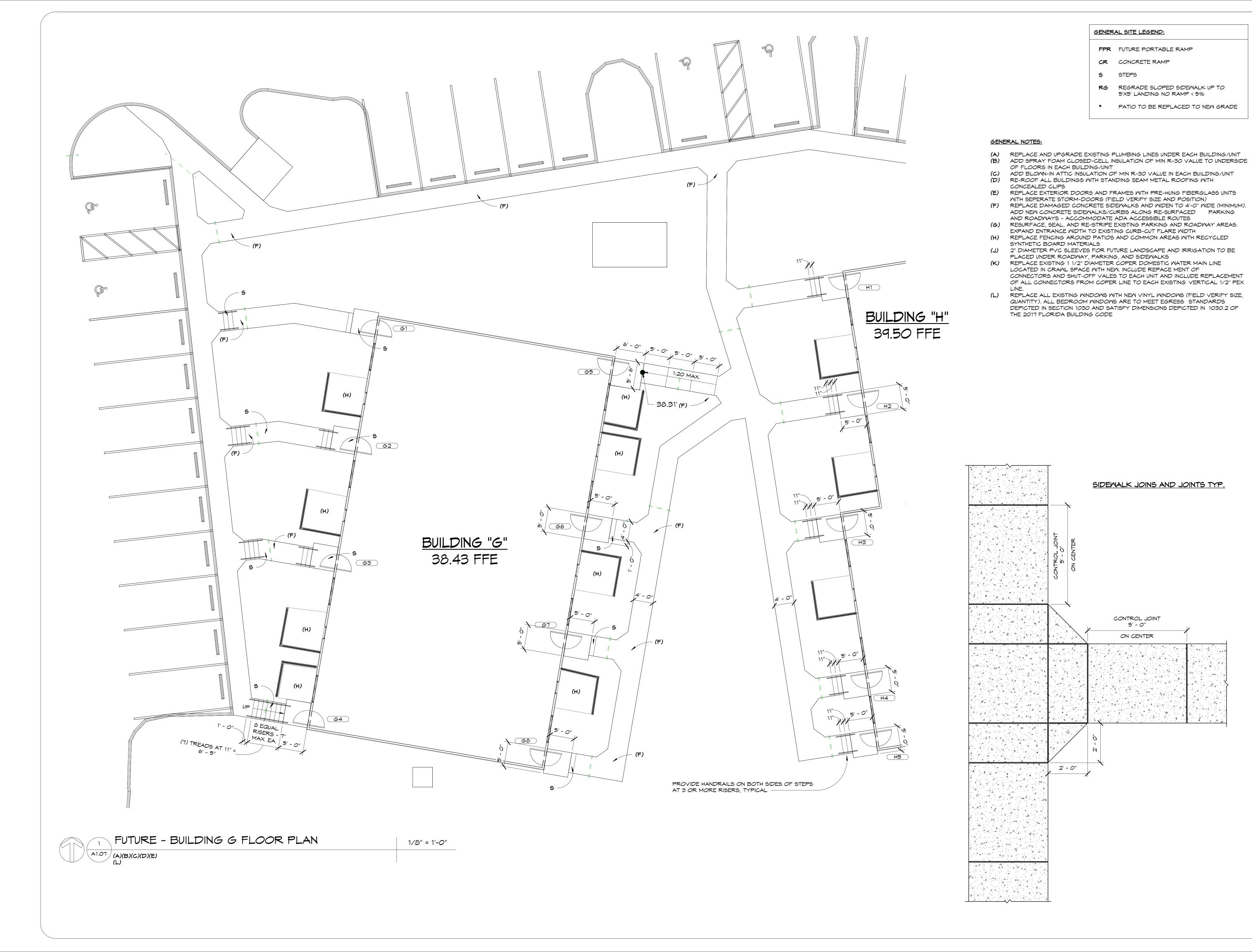
SEAL:

BID SET

ARCHITECTURAL

SITE PLAN BUILDING F

PROJECT NO. 4247-09





103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



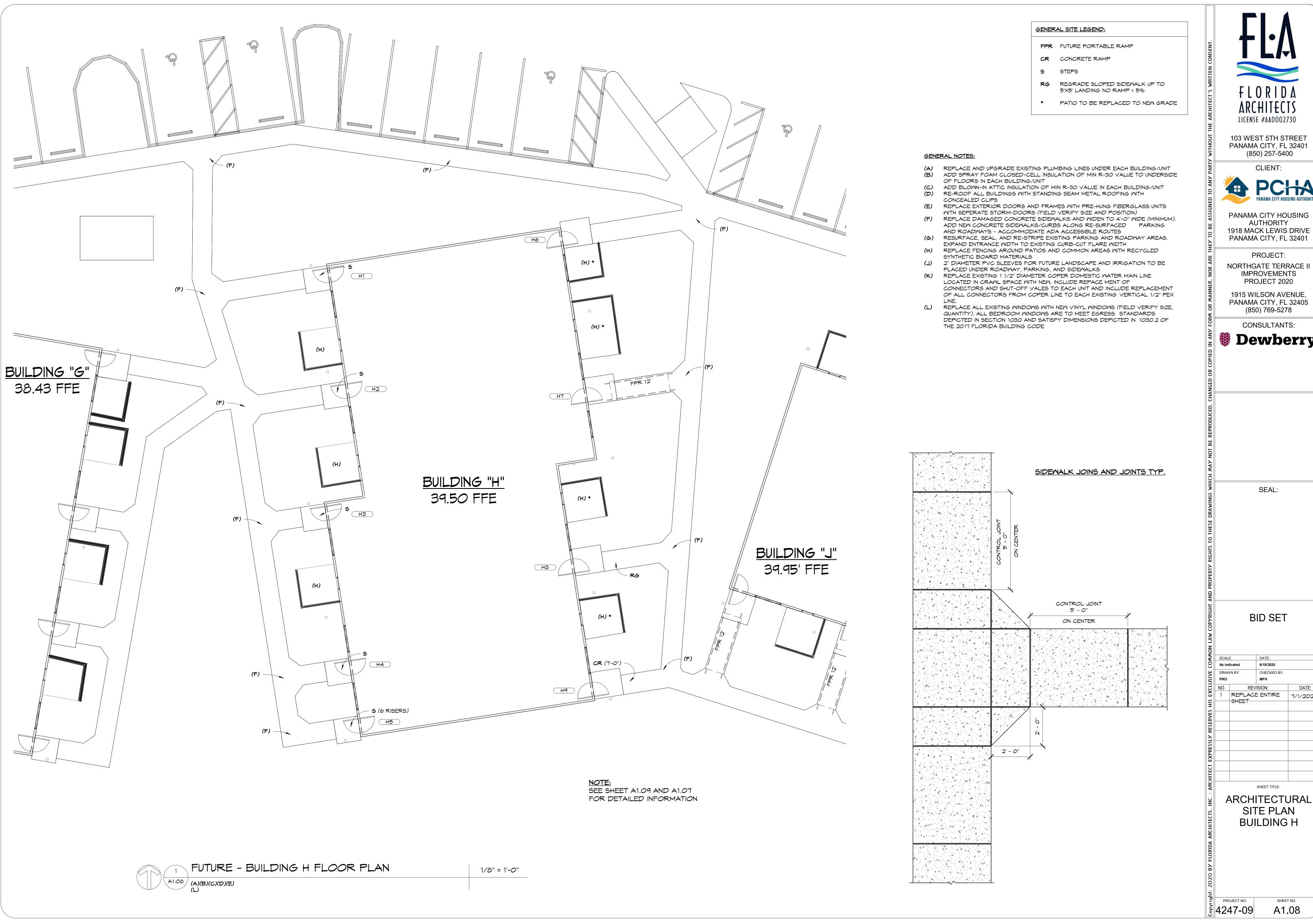
SEAL:

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	JALLI		

ARCHITECTURAL SITE PLAN BUILDING G

PROJECT NO. 4247-09



LICENSE #AA0002730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

IMPROVEMENTS PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

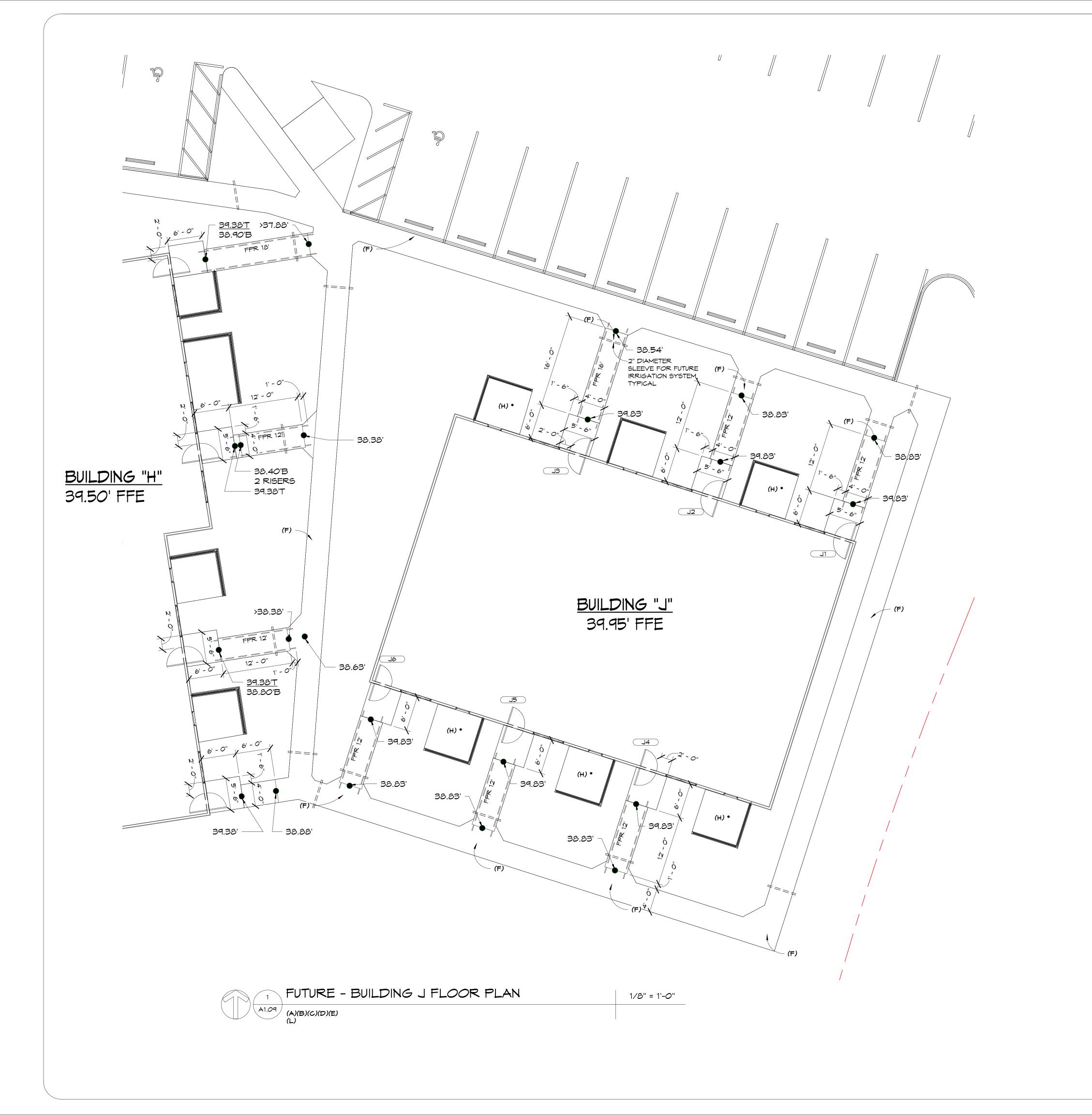
CONSULTANTS:



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ARCHITECTURAL SITE PLAN **BUILDING H**



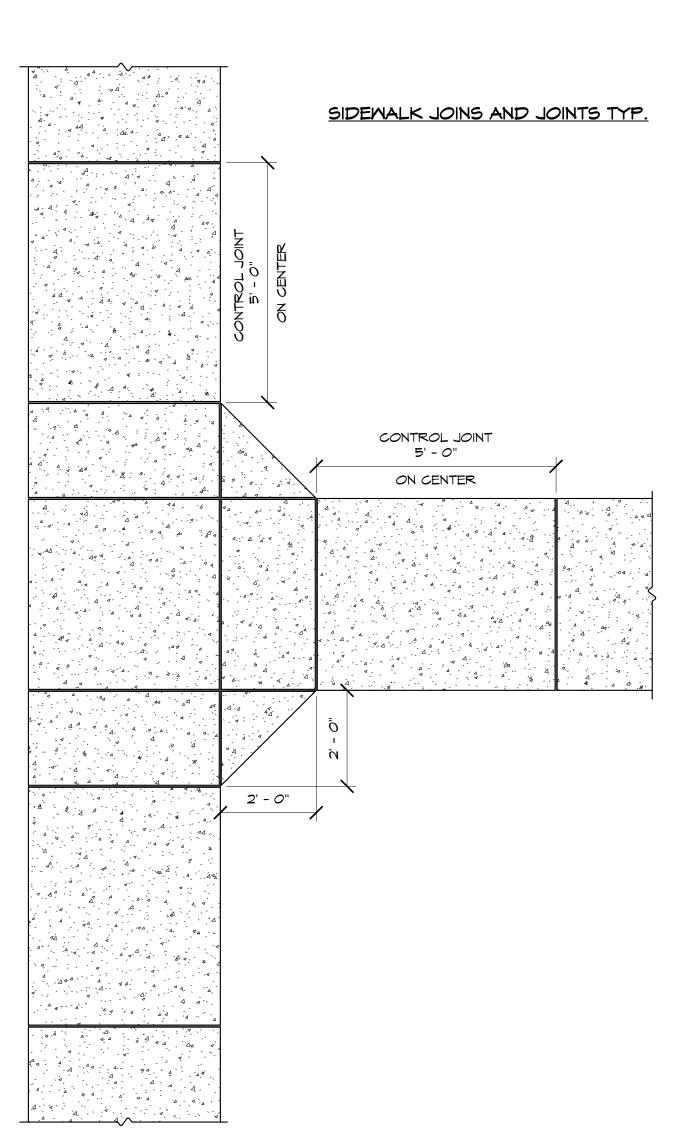
- FPR FUTURE PORTABLE RAMP
- CR CONCRETE RAMP
- **S** STEPS
- RG REGRADE SLOPED SIDEWALK UP TO 5'X5' LANDING NO RAMP < 5%
- PATIO TO BE REPLACED TO NEW GRADE

GENERAL NOTES:

- (A) REPLACE AND UPGRADE EXISTING PLUMBING LINES UNDER EACH BUILDING/UNIT
- ADD SPRAY FOAM CLOSED-CELL INSULATION OF MIN R-30 VALUE TO UNDERSIDE OF FLOORS IN EACH BUILDING/UNIT
- ADD BLOWN-IN ATTIC INSULATION OF MIN R-30 VALUE IN EACH BUILDING/UNIT RE-ROOF ALL BUILDINGS WITH STANDING SEAM METAL ROOFING WITH
- CONCEALED CLIPS REPLACE EXTERIOR DOORS AND FRAMES WITH PRE-HUNG FIBERGLASS UNITS
- WITH SEPERATE STORM-DOORS (FIELD VERIFY SIZE AND POSITION) (F) REPLACE DAMAGED CONCRETE SIDEMALKS AND WIDEN TO 4'-0" WIDE (MINIMUM). ADD NEW CONCRETE SIDEWALKS/CURBS ALONG RE-SURFACED PARKING
- AND ROADWAYS ACCOMMODATE ADA ACCESSIBLE ROUTES
- (G) RESURFACE, SEAL, AND RE-STRIPE EXISTING PARKING AND ROADWAY AREAS. EXPAND ENTRANCE WIDTH TO EXISTING CURB-CUT FLARE WIDTH REPLACE FENCING AROUND PATIOS AND COMMON AREAS WITH RECYCLED
- SYNTHETIC BOARD MATERIALS (J) 2" DIAMETER PVC SLEEVES FOR FUTURE LANDSCAPE AND IRRIGATION TO BE

THE 2017 FLORIDA BUILDING CODE

- PLACED UNDER ROADWAY, PARKING, AND SIDEWALKS (K) REPLACE EXISTING 1 1/2" DIAMETER COPER DOMESTIC WATER MAIN LINE LOCATED IN CRAWL SPACE WITH NEW. INCLUDE REPACE MENT OF CONNECTORS AND SHUT-OFF VALES TO EACH UNIT AND INCLUDE REPLACEMENT
- OF ALL CONNECTORS FROM COPER LINE TO EACH EXISTING VERTICAL 1/2" PEX (L) REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS (FIELD VERIFY SIZE, QUANTITY). ALL BEDROOM WINDOWS ARE TO MEET EGRESS STANDARDS DEPICTED IN SECTION 1030 AND SATISFY DIMENSIONS DEPICTED IN 1030.2 OF





103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

NORTHGATE TERRACE II **IMPROVEMENTS** PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



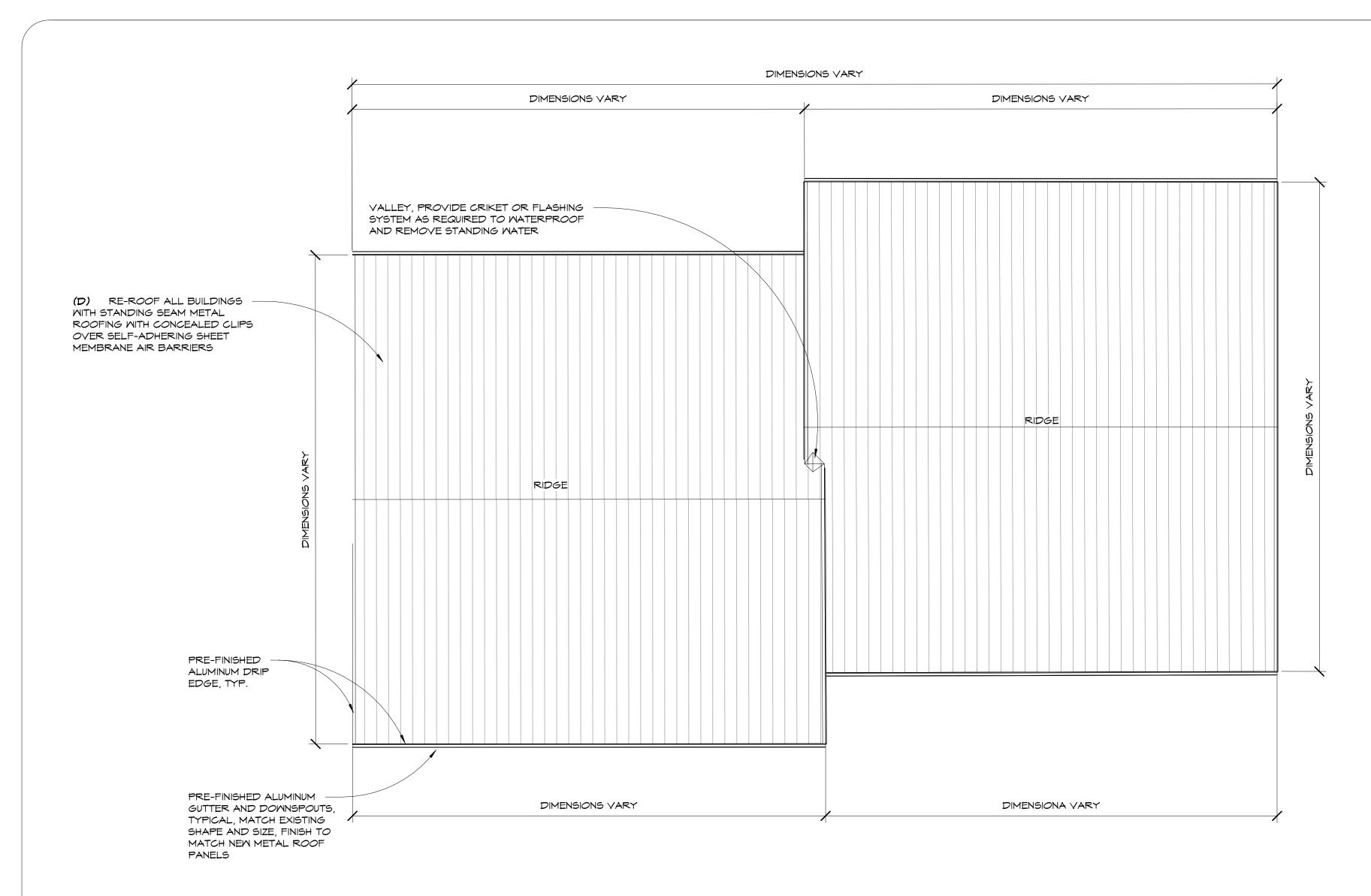
SEAL:

BID SET

As indicated REVISION: REPLACE ENTIRE 7/1/2020

ARCHITECTURAL SITE PLAN **BUILDING J**

§ 4247-09



1 ROOF PLAN BUILDING "A"

1/8" = 1'-0"

(BUILDINGS "D", "E", "F" AND "H" ARE SIMILAR, DIMENSIONS VARY, FIELD VERIFY)

FLORIDA ARCHITECTS
LICENSE #AA0002730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



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PROJECT:
NORTHGATE TERRACE II
IMPROVEMENTS

PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



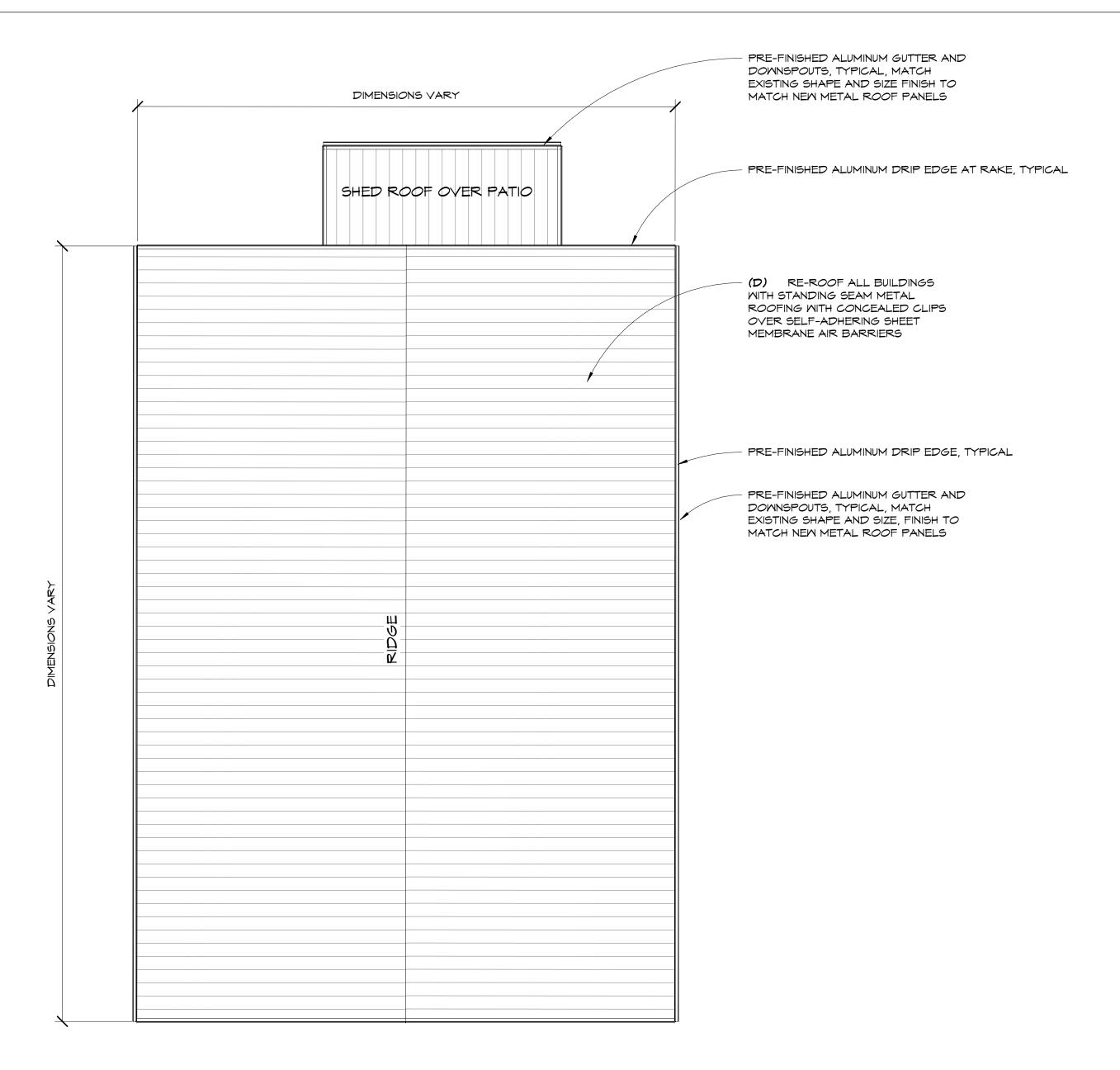
SEAL

BID SET

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1/8" = 1'-0"		6/18/2020	
DRAW	/N BY:	CHECKED BY:	
PRO		MFH	
NO.	REV	ISION:	DATE

BUILDING TYPE ONE ROOF PLAN

PROJECT NO. 4247-09



BUILDING "B" ROOF PLAN

1/8" = 1'-0"

(BUILDINGS "C", "G" AND "J" ARE SIMILAR, DIMENSIONS VARY, FIELD VERIFY)

LICENSE #AA0002730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



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PROJECT:

NORTHGATE TERRACE II **IMPROVEMENTS** PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



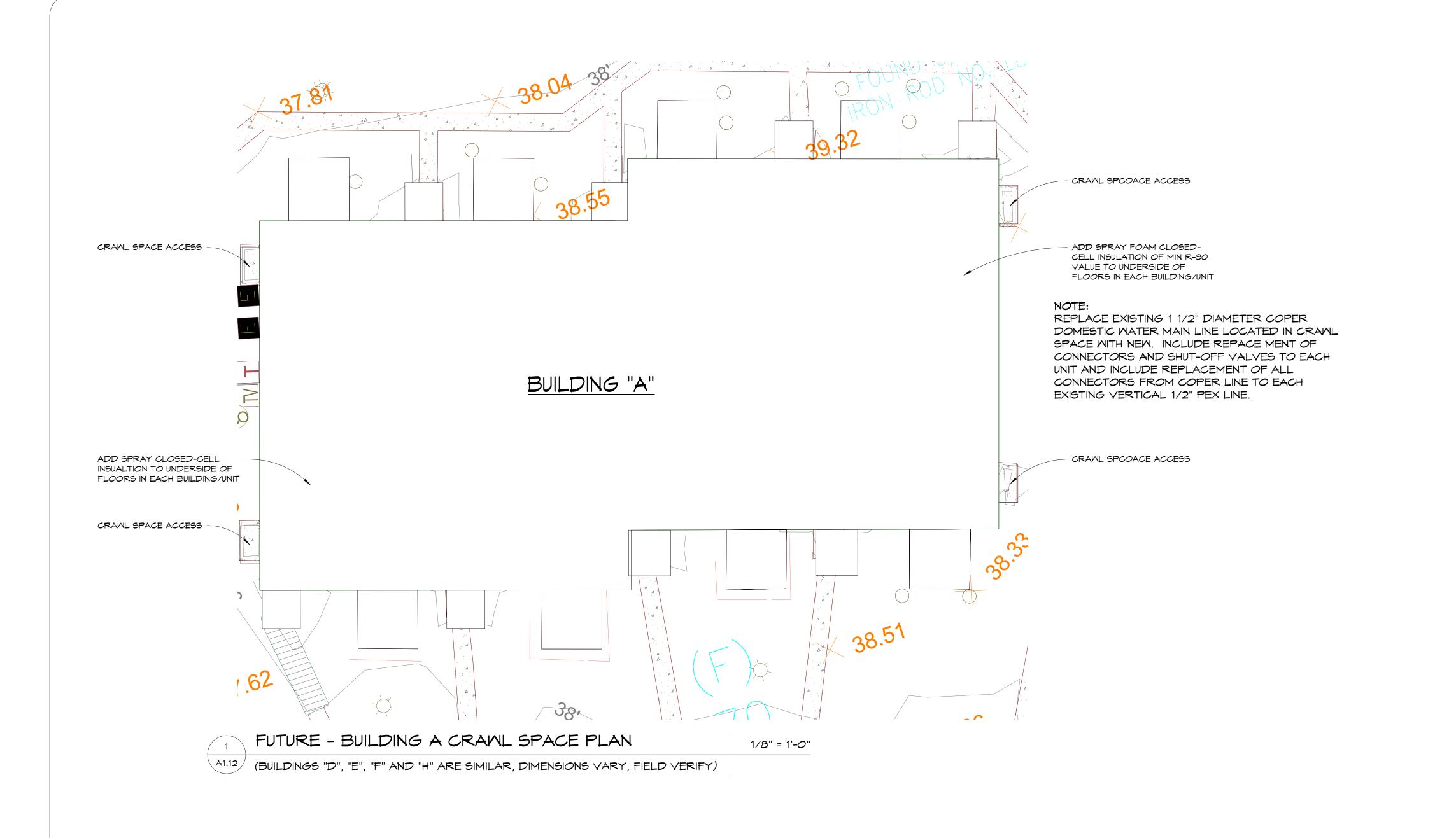
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NO.	REV	ISION:	DATE

BUILDING TYPE TWO ROOF PLAN

§ 4247-09 A1.11



LICENSE #AAOOO2730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

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PROJECT:

NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:

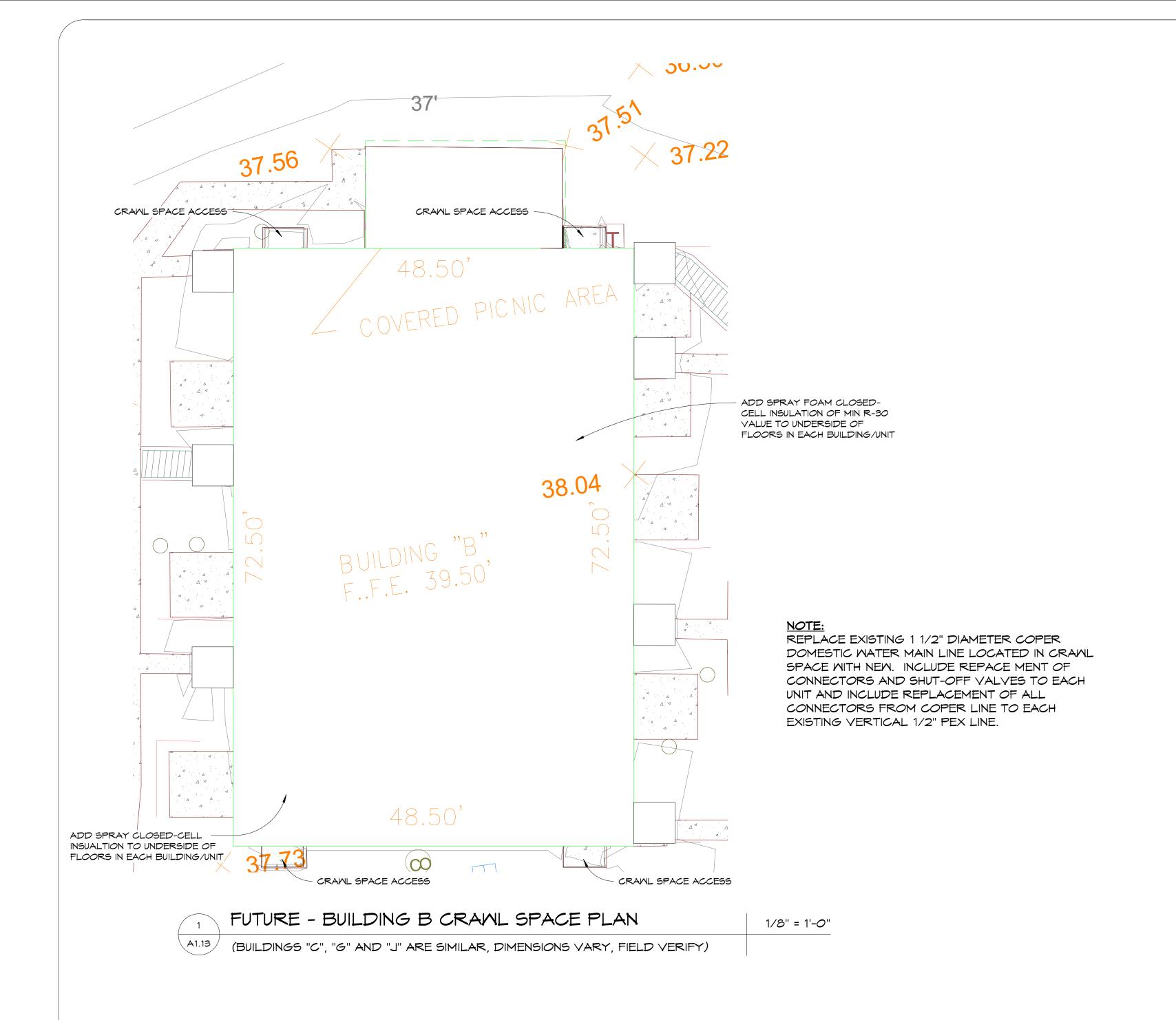


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BUILDING TYPE ONE CRAWL SPACE PLAN

§ 4247-09



FLORIDA
ARCHITECTS
LICENSE #AAOOO2730

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PROJECT:

NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

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CONSULTANTS:



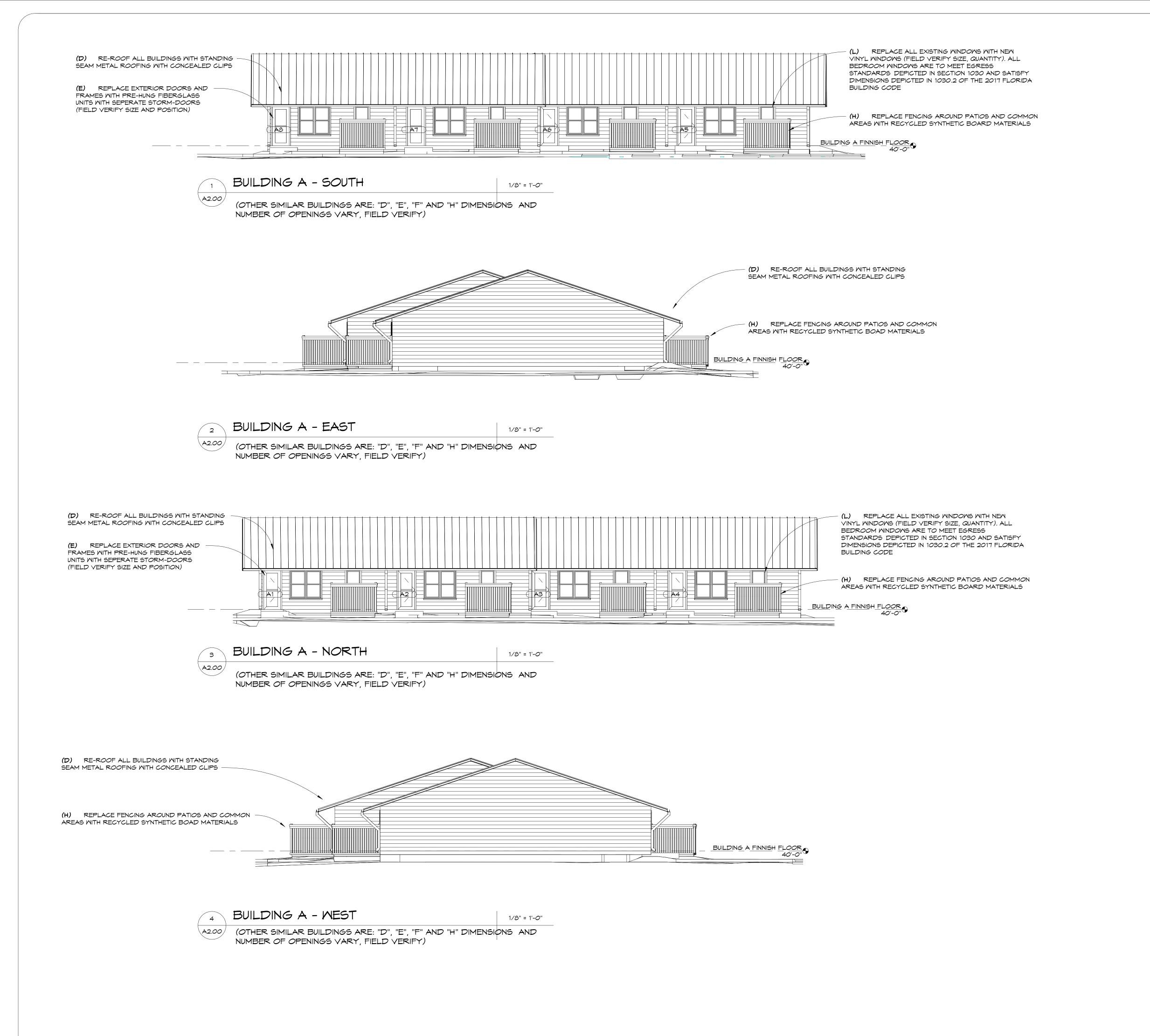
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BUILDING TYPE TWO CRAWL SPACE PLAN

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LICENSE #AAOOO2730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

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PROJECT: NORTHGATE TERRACE II **IMPROVEMENTS**

PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



SEAL:

BID SET

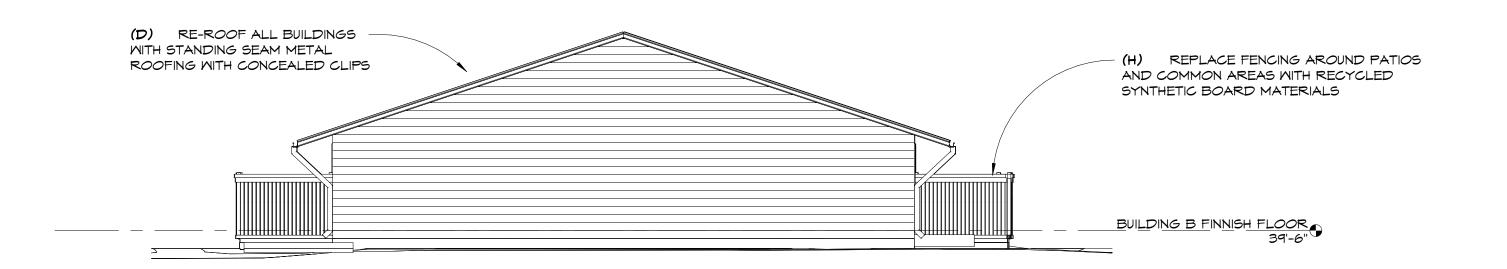
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REPLACE ENTIRE | 7/1/2020

BUILDING TYPE ONE ELEVATIONS

4247-09

A2.00



BUILDING B - SOUTH

1/8" = 1'-0"

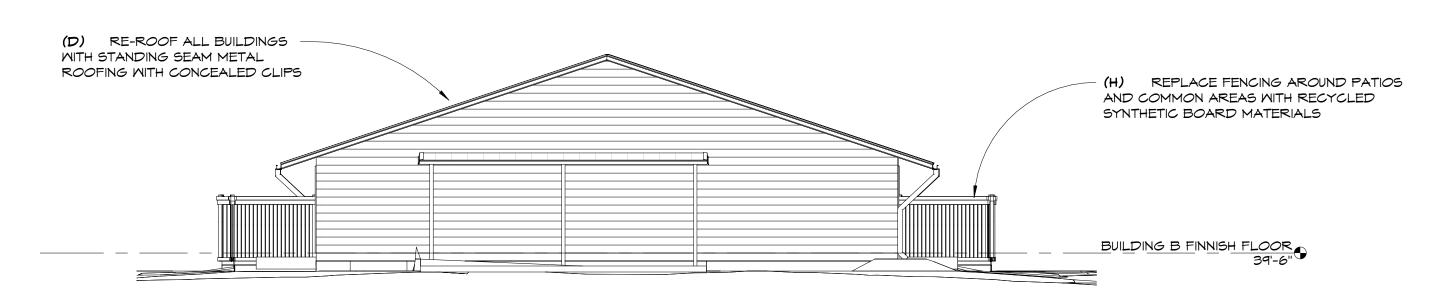
(OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J", DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)



BUILDING B - EAST

1/8" = 1'-0"

(OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)



BUILDING B - NORTH 1/8" = 1'-0" (OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)



BUILDING B -MEST

1/8" = 1'-0"

(OTHER SIMILAR BUILDINGS ARE: "C", "G" AND "J" DIMENSIONS AND NUMBER OF OPENINGS VARY, FIELD VERIFY)



103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



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PROJECT: NORTHGATE TERRACE II

IMPROVEMENTS PROJECT 2020 1915 WILSON AVENUE,

PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



SEAL:

BID SET

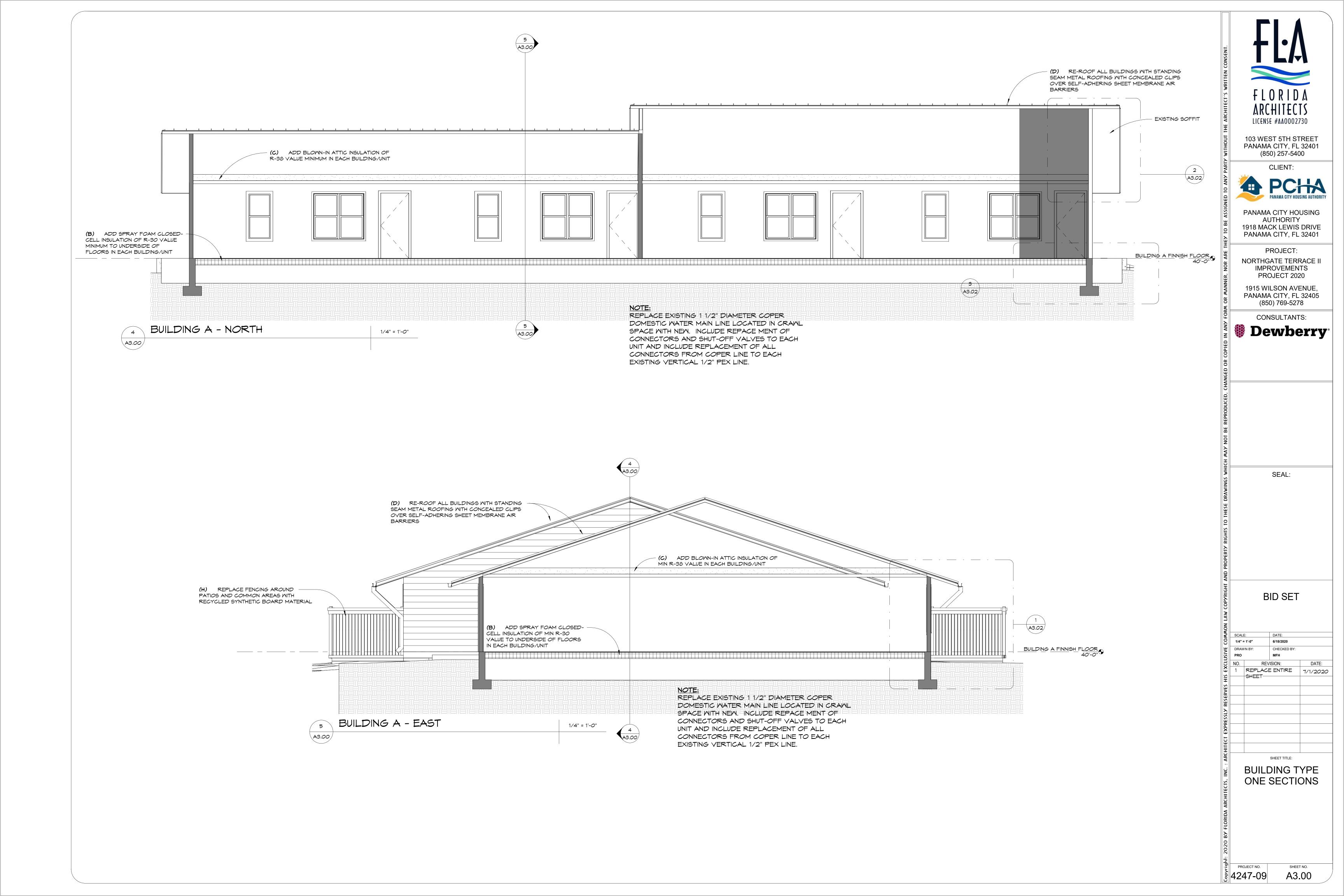
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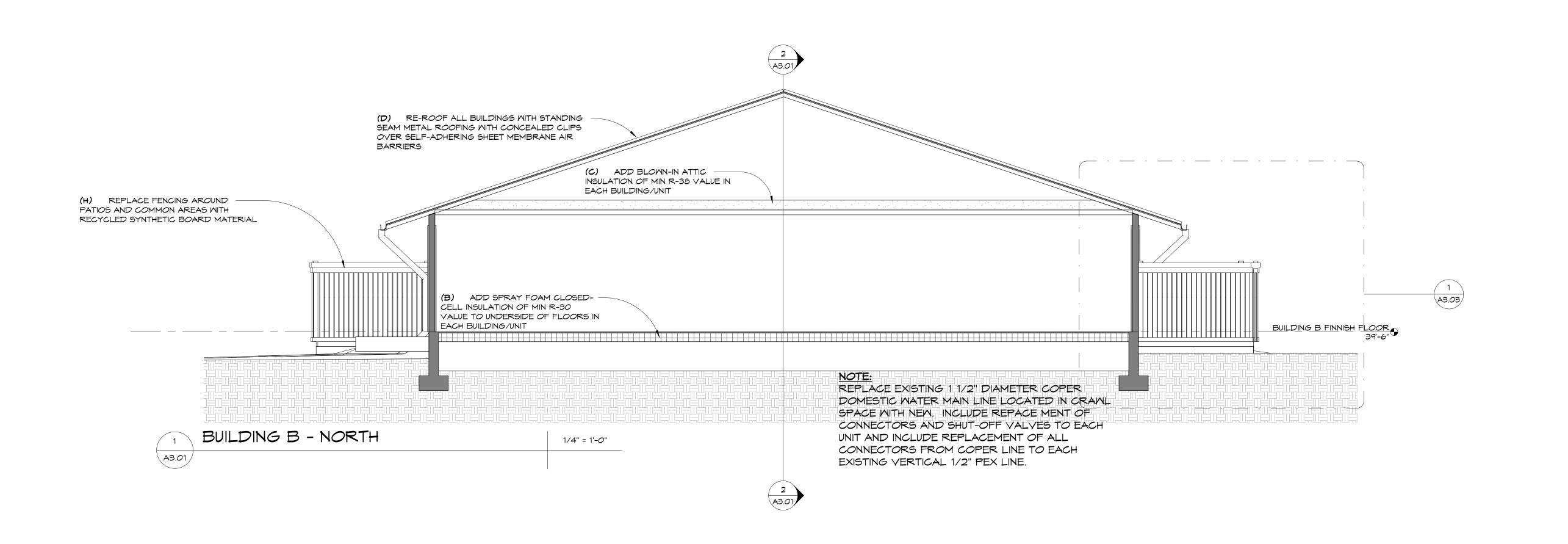
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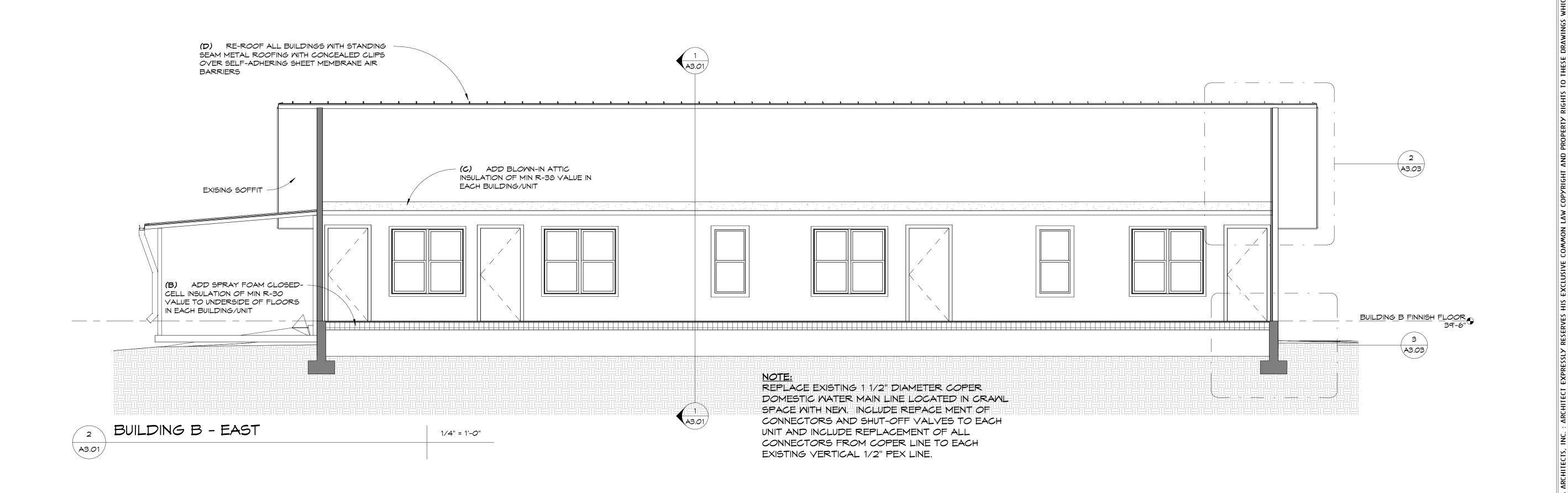
TWO ELEVATIONS

4247-09

A2.01









103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



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PROJECT:

NORTHGATE TERRACE II

IMPROVEMENTS

PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:

Dewberry

SEAL:

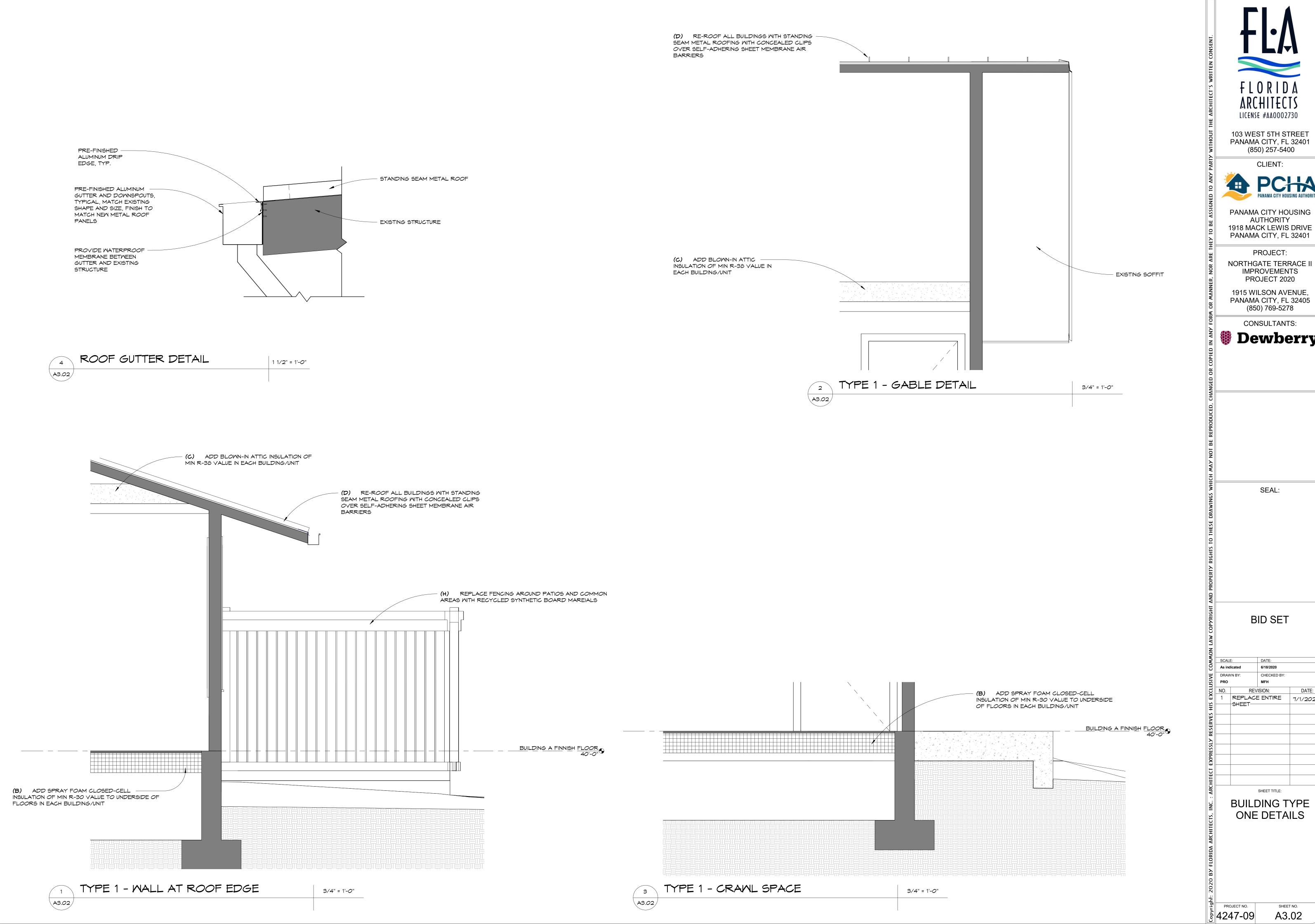
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BUILDING TYPE TWO SECTIONS

PROJECT NO. 4247-09

7-09 A3.01



LICENSE #AAOOO2730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400



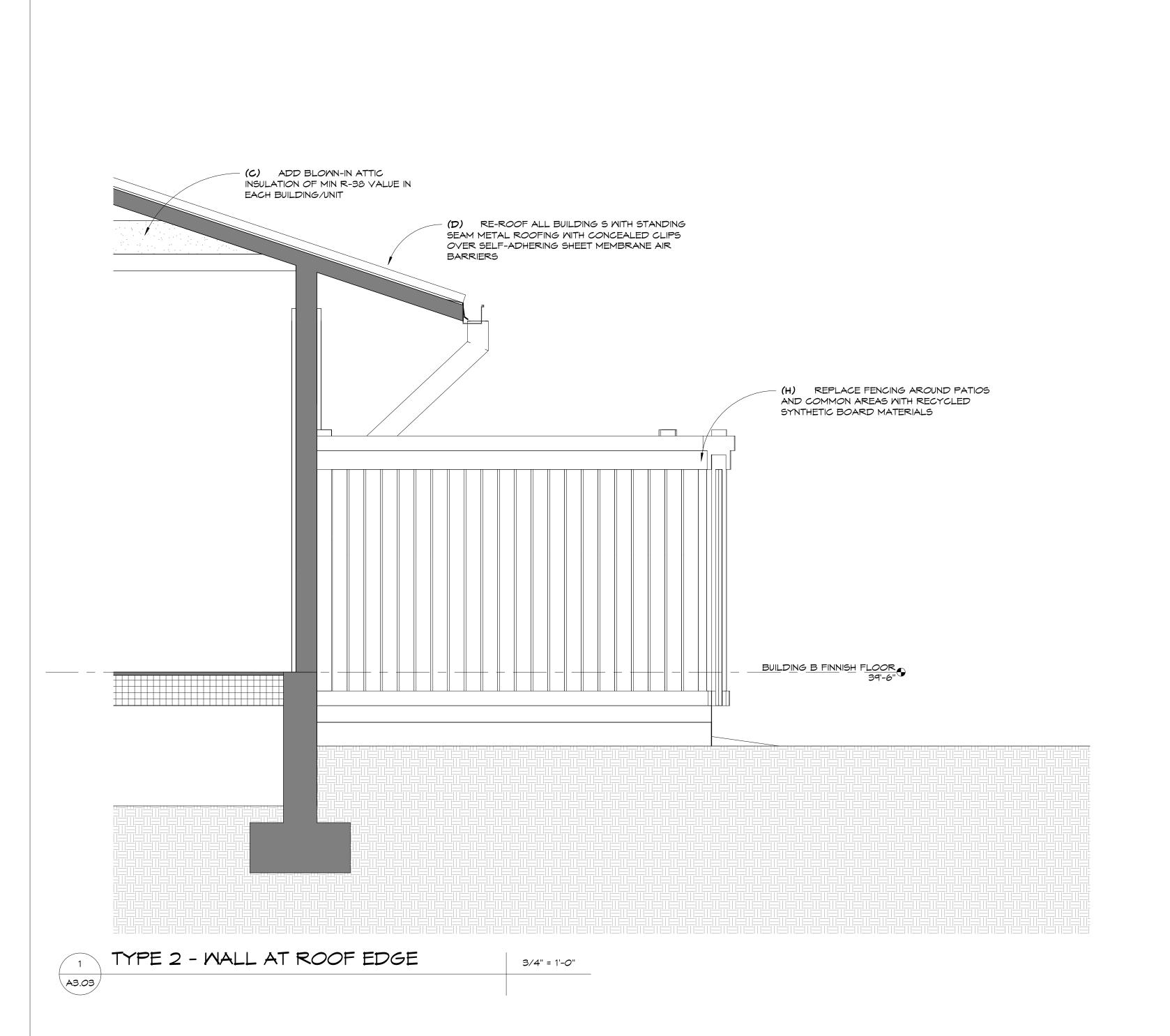
PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

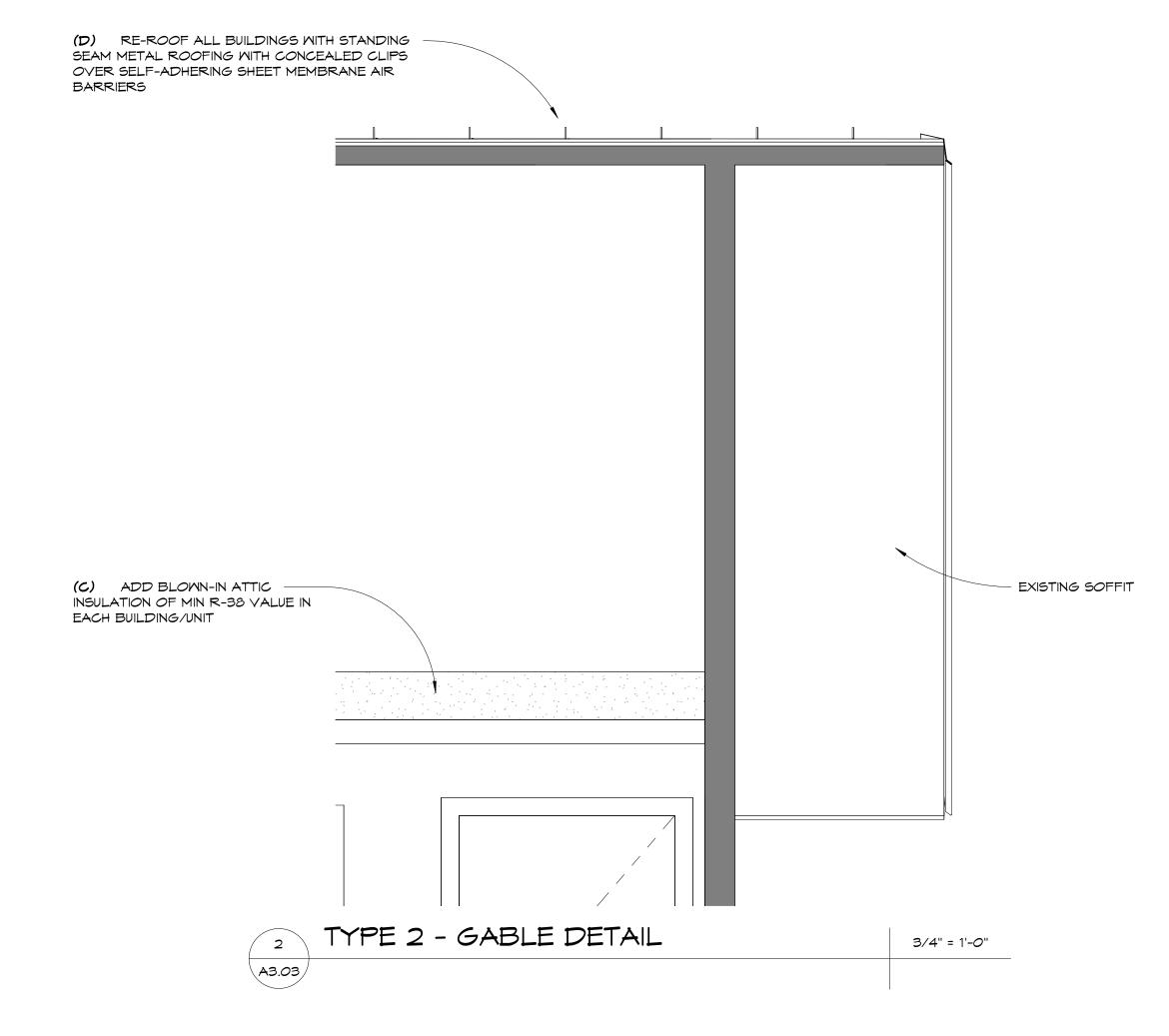
1915 WILSON AVENUE, PANAMA CITY, FL 32405

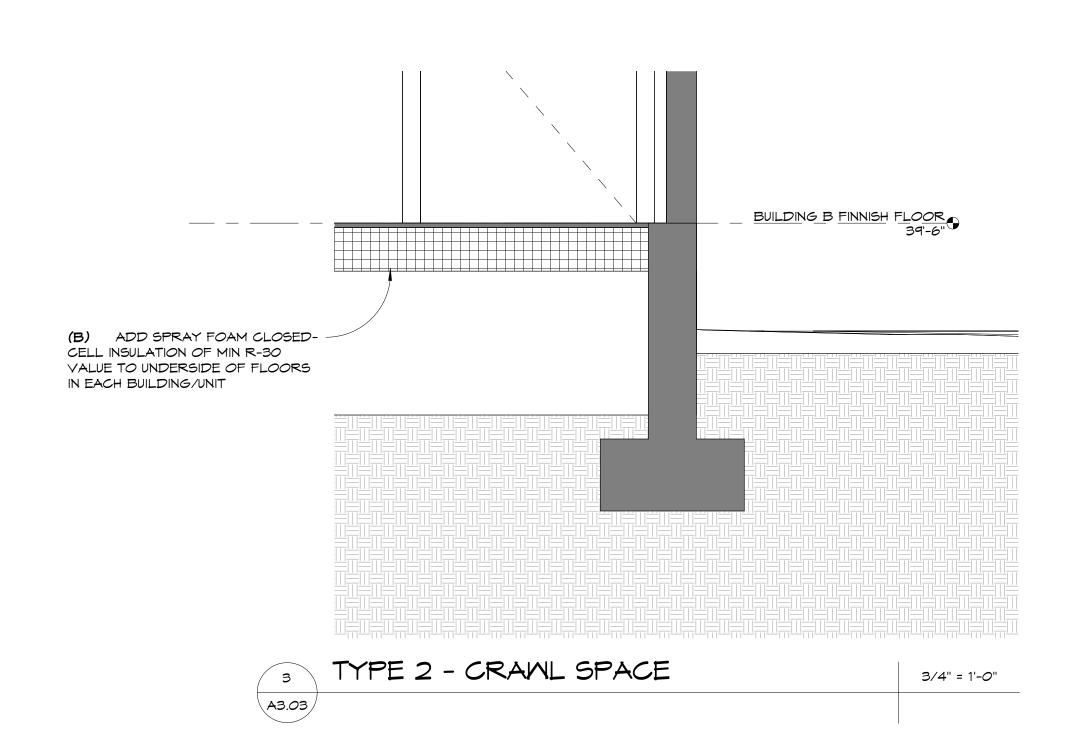


REPLACE ENTIRE 7/1/2020

BUILDING TYPE ONE DETAILS









103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

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PROJECT: NORTHGATE TERRACE II **IMPROVEMENTS**

PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:

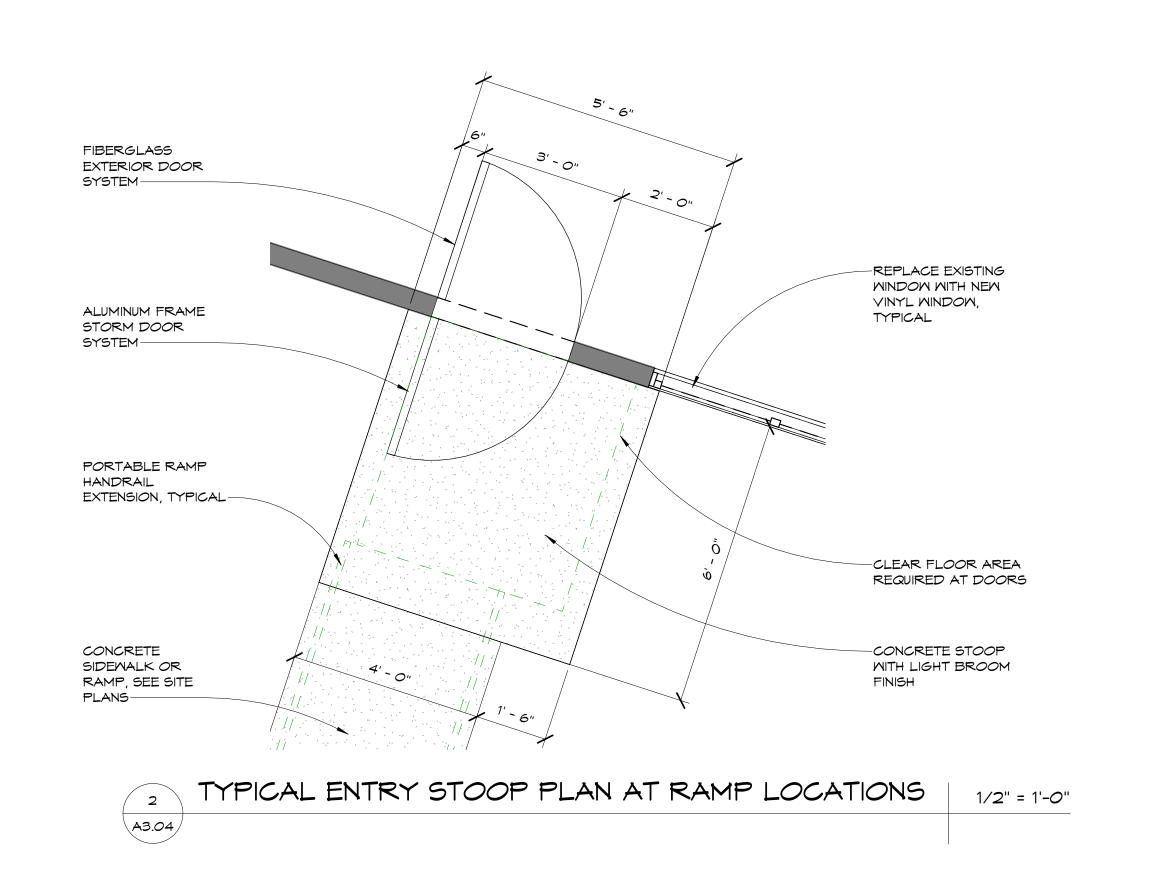
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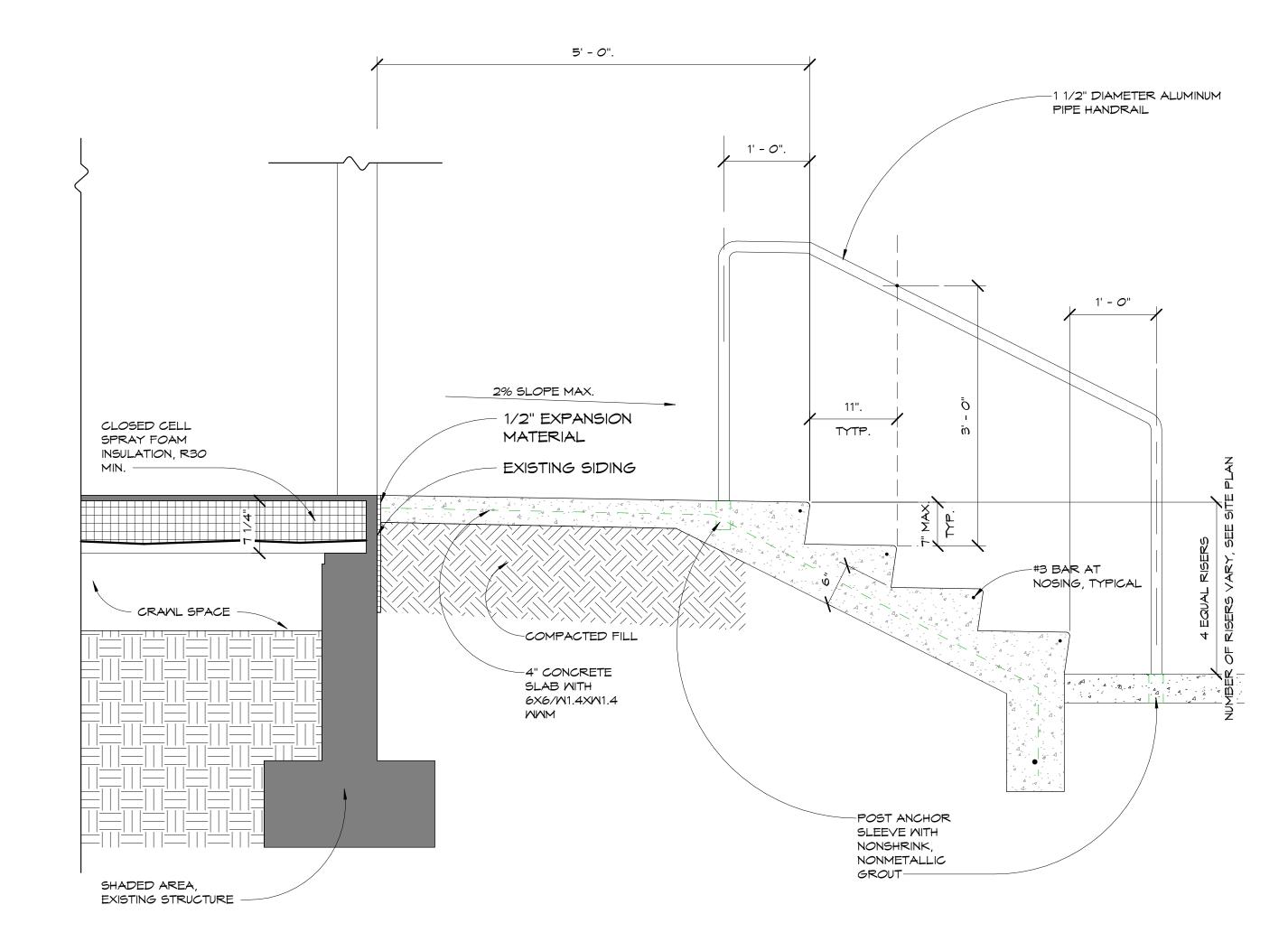
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BUILDING TYPE TWO DETAILS

A3.03 ੈ 4247-09









103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

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PROJECT: NORTHGATE TERRACE II IMPROVEMENTS

PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



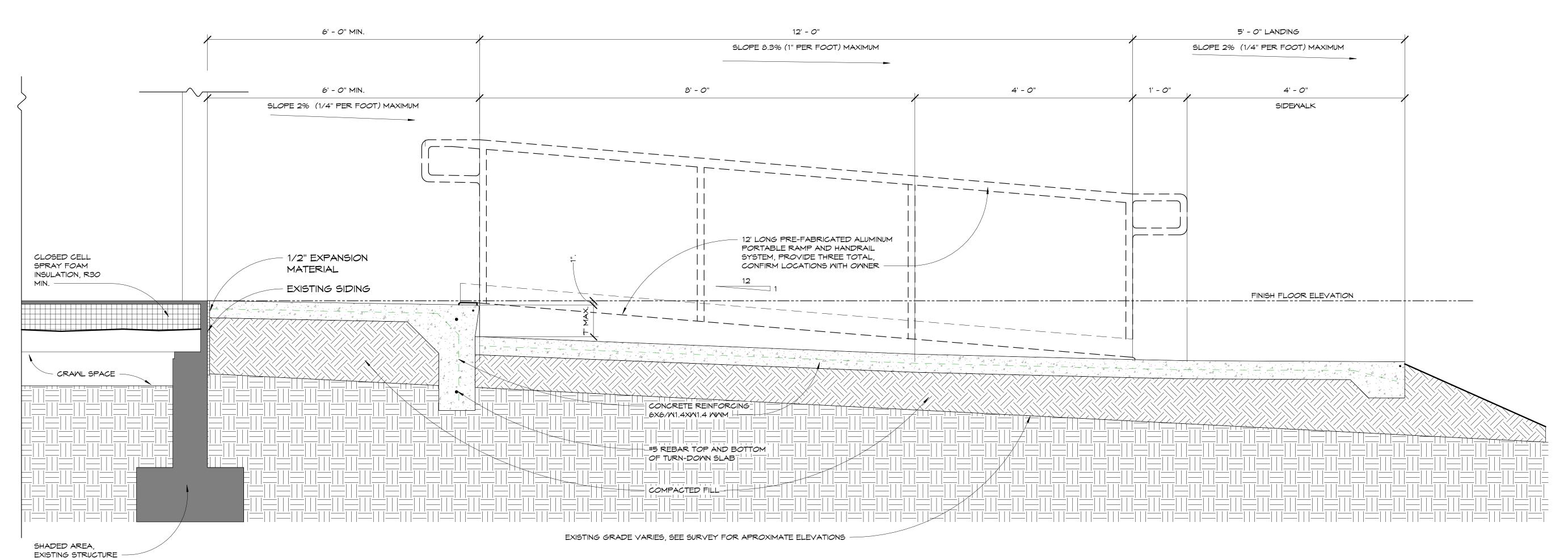
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> ENTRY STOOP SECTION AND DETAILS

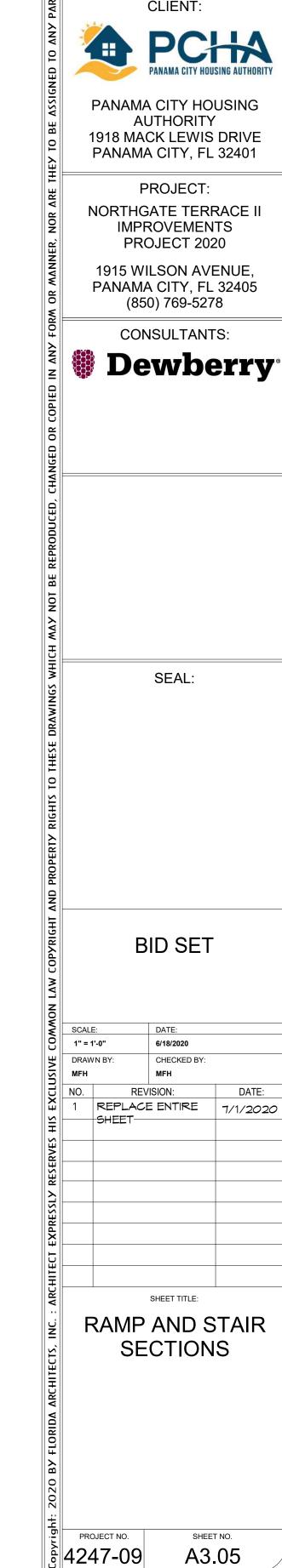
PROJECT NO. 4247-09

SHEET NO. **A3.04**



1" = 1'-0"

ENTRY STOOP - CONDITION A

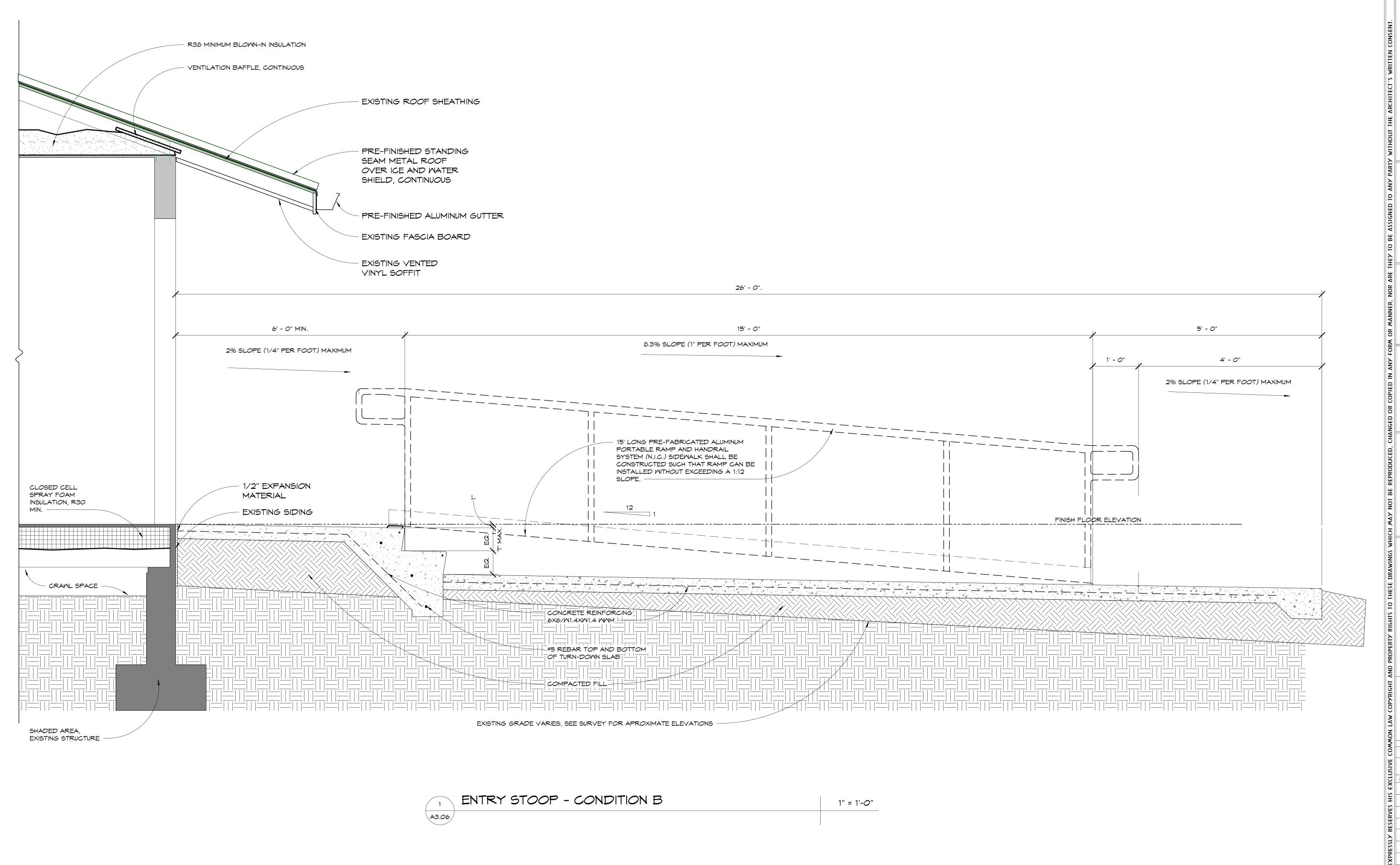


LICENSE #AA0002730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:

A3.05



FLORIDA ARCHITECTS
LICENSE #AAOOO2730

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CLIENT:



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PROJECT:

NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



SEAL:

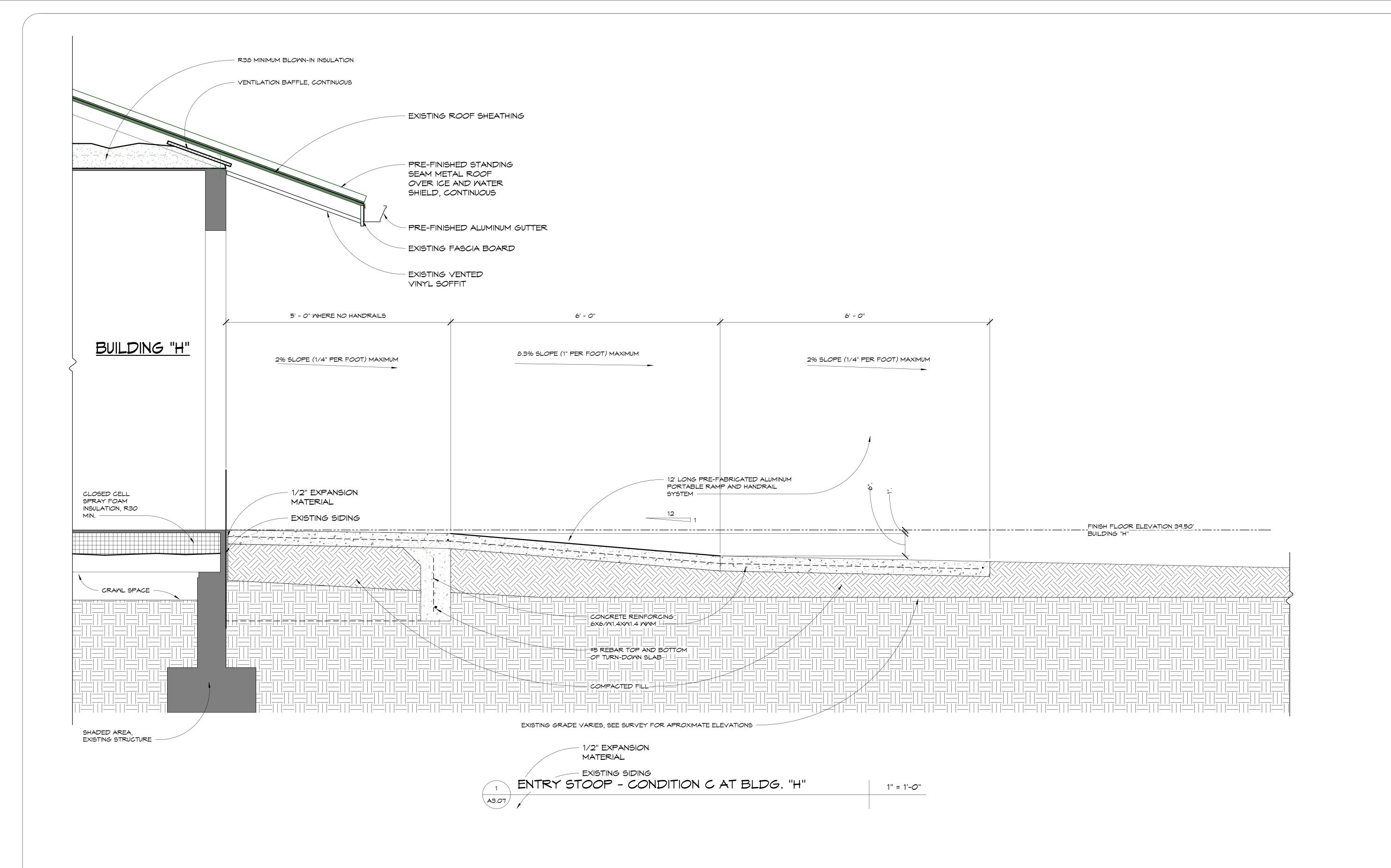
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	SHEET TITLE:			

RAMP AND STAIR SECTION

PROJECT NO. 4247-09

47-09 SHEET NO. A3.06



FLORIDA ARCHITECTS
LICENSE #AAOOO2730

103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:



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PROJECT: NORTHGATE TERRACE II

IMPROVEMENTS

PROJECT 2020 1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



SEAL:

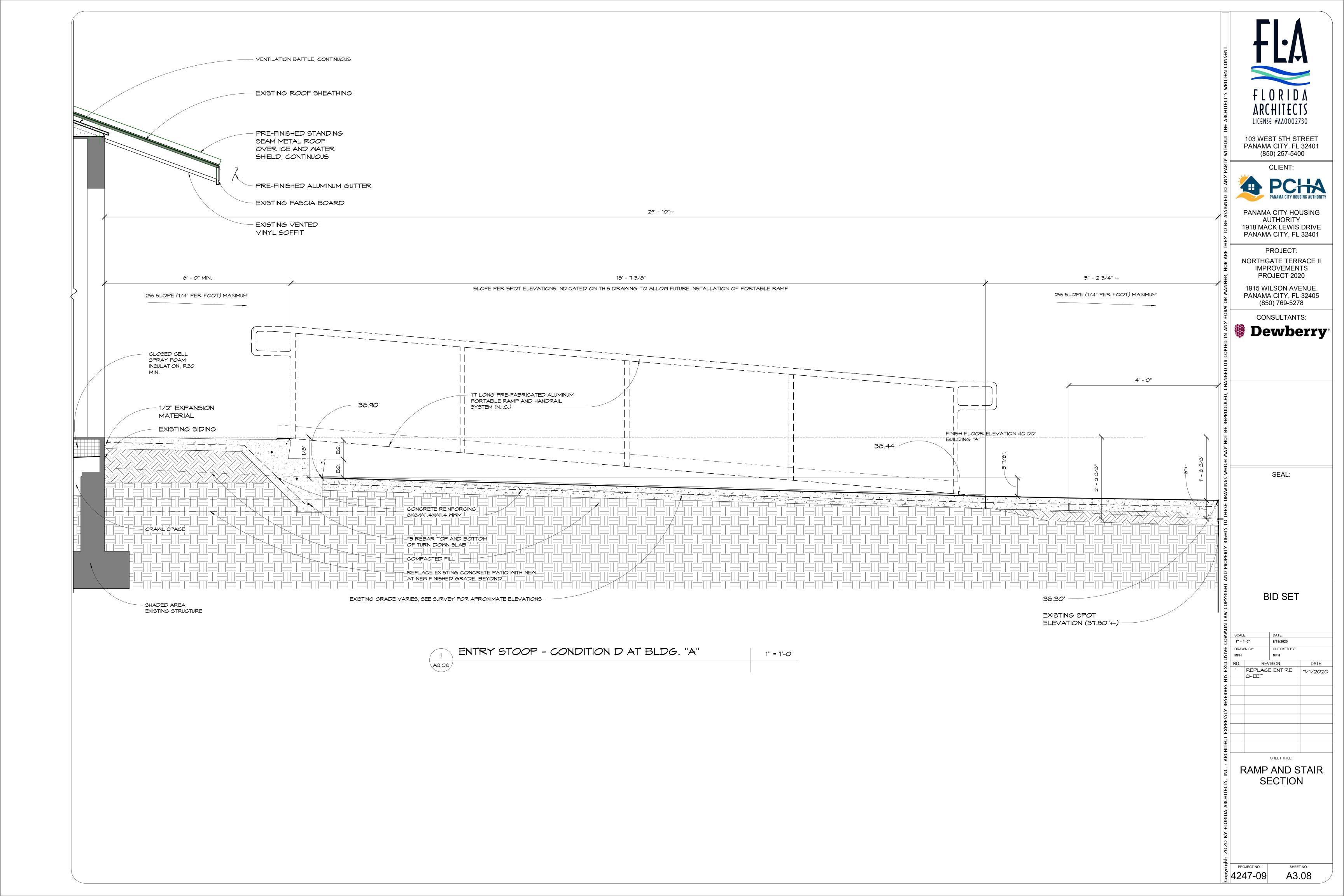
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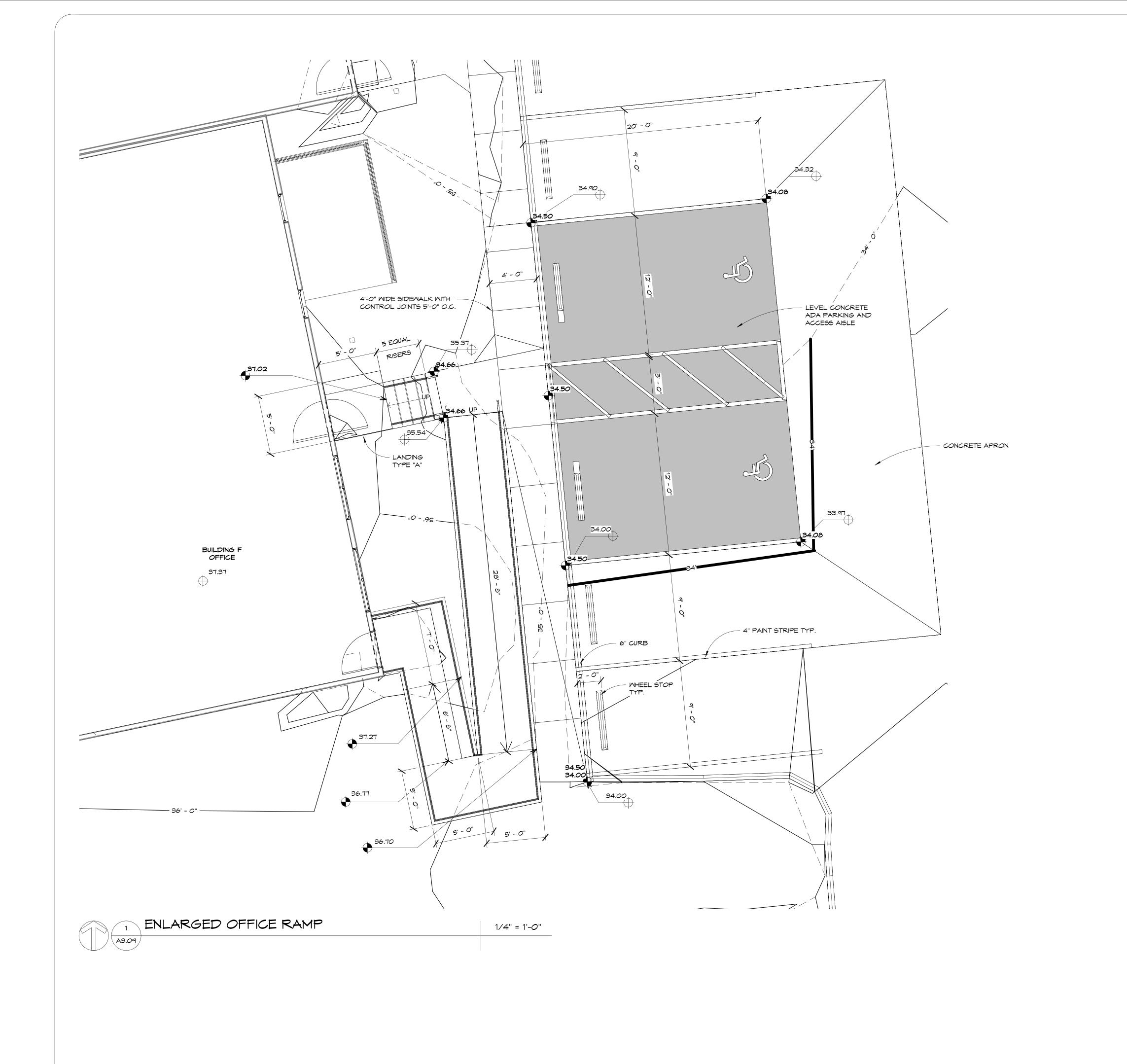
SCALE:		DATE:	
1" = 1'-0"		6/18/2020	
DRAW	/N BY:	CHECKED BY:	
MFH		MFH	
NO.	REV	ISION:	DATE:
1	REPLACE SHEET	EENTIRE	7/1/2020
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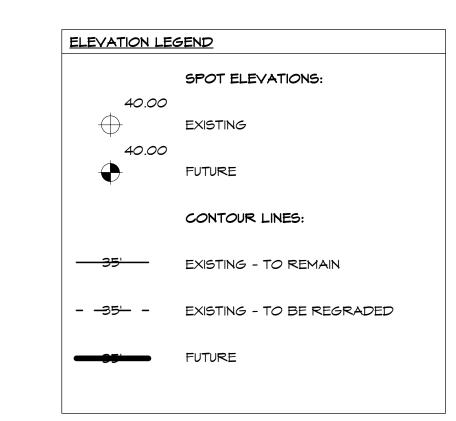
RAMP AND STAIR SECTION

PROJECT NO. 4247-09

A3.07









103 WEST 5TH STREET PANAMA CITY, FL 32401 (850) 257-5400

CLIENT:

PCHA PANAMA CITY HOUSING AUTHORITY

PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:
NORTHGATE TERRACE II
IMPROVEMENTS
PROJECT 2020

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



SEAL:

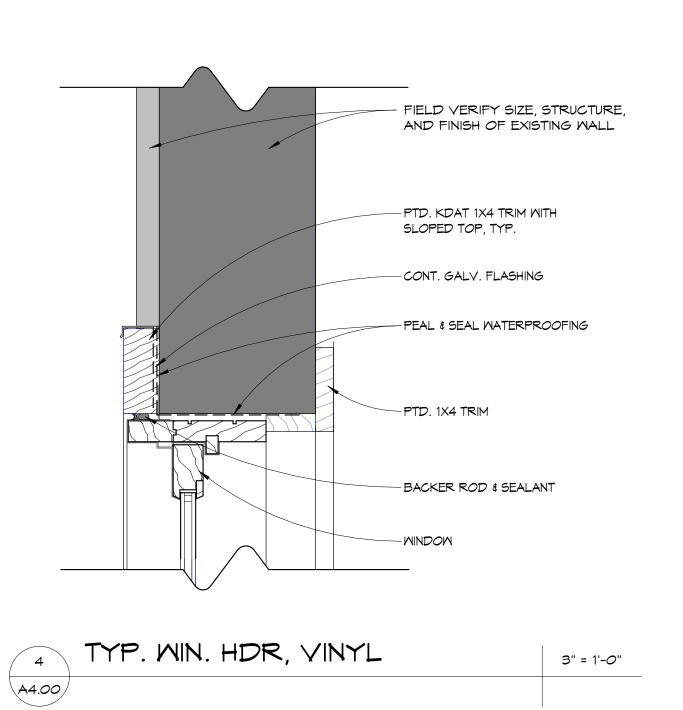
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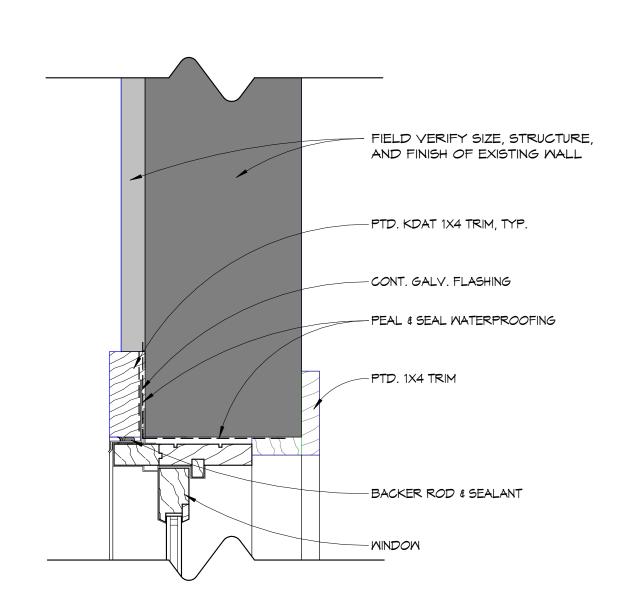
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ENLARGED OFFICE RAMP

PROJECT NO. 4247-09

A3.09

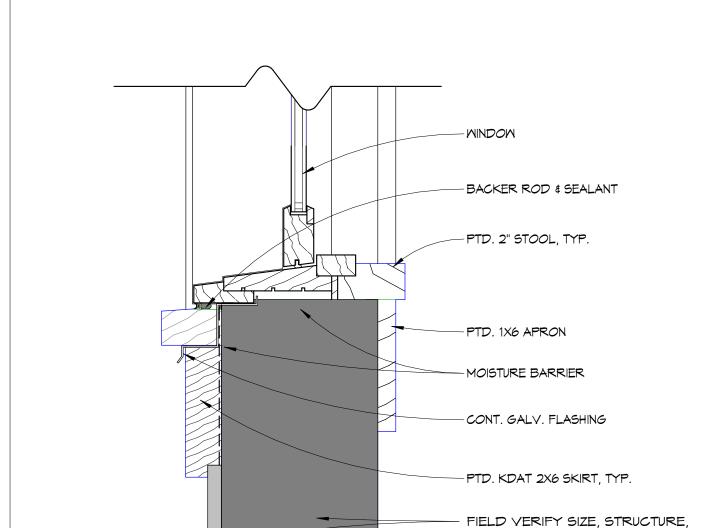




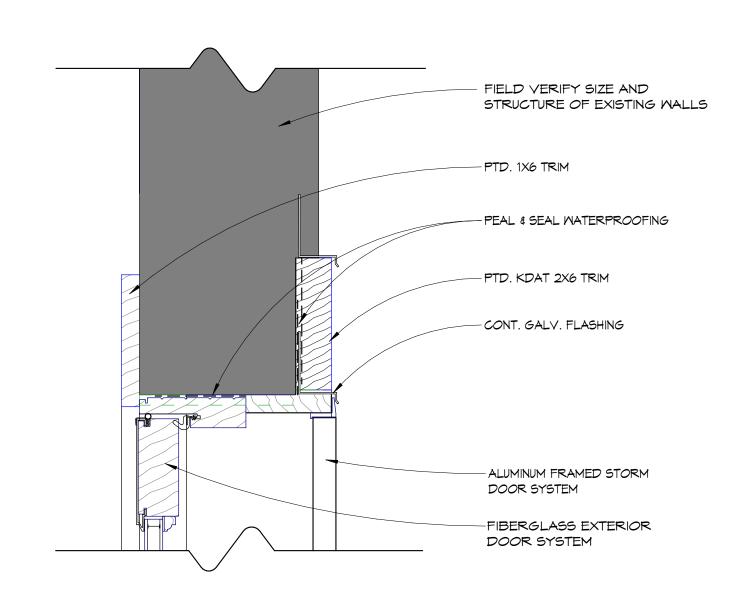
3" = 1'-*0*"

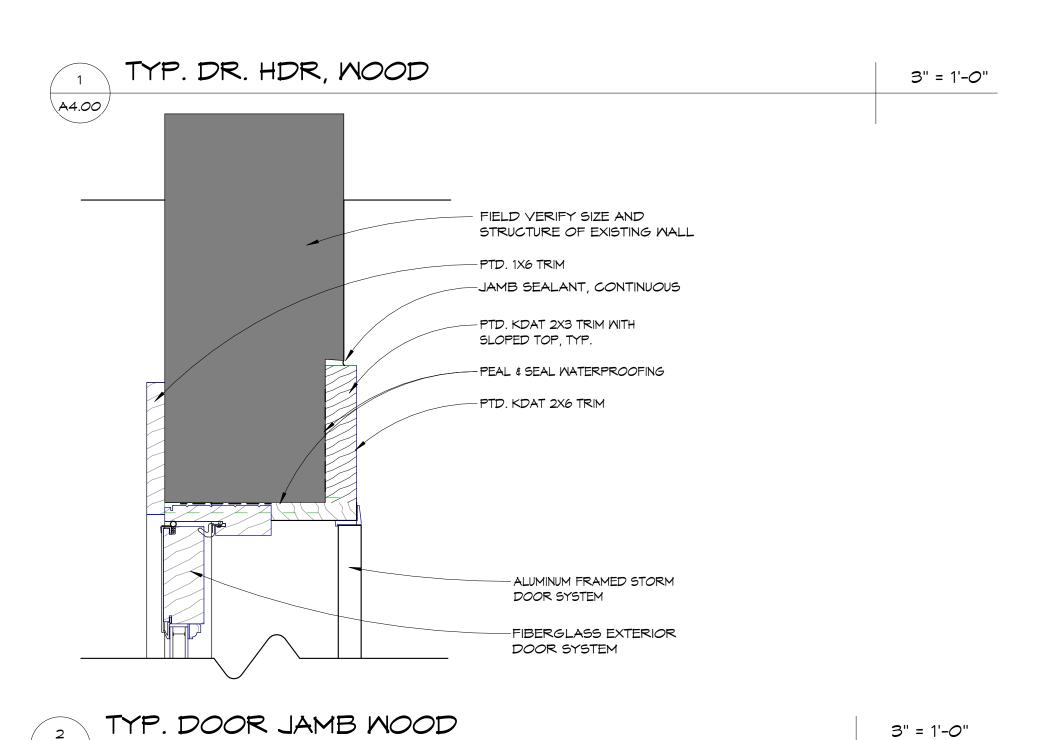
AND FINISH OF EXISTING WALL

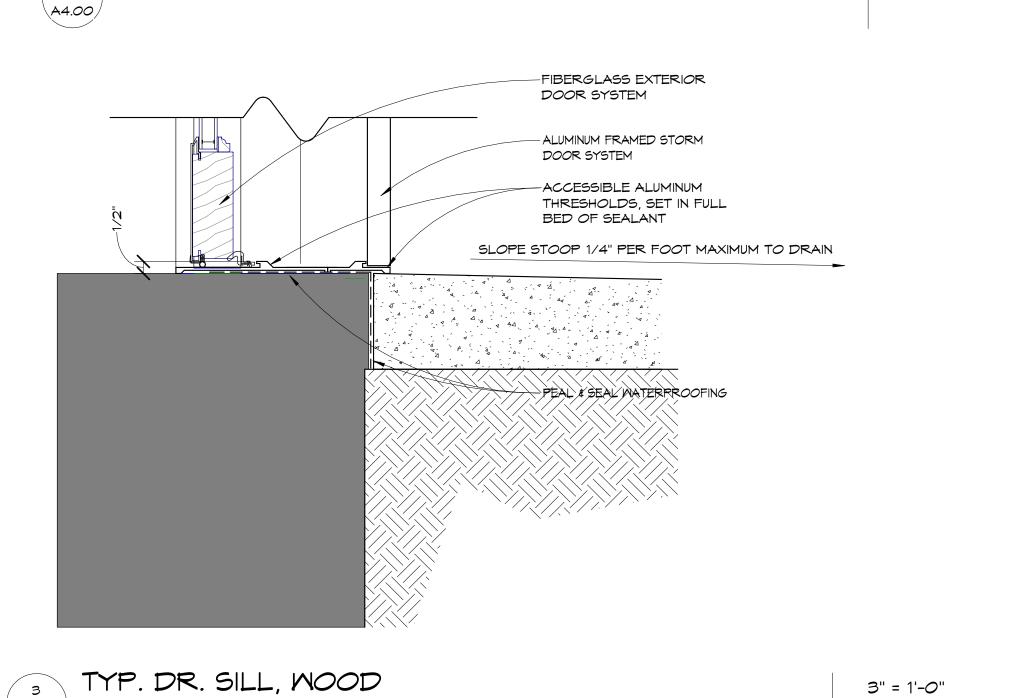
3" = 1'-0"



TYP. WIN. JAMB, VINYL









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PROJECT:
NORTHGATE TERRACE II
IMPROVEMENTS

1915 WILSON AVENUE, PANAMA CITY, FL 32405 (850) 769-5278

PROJECT 2020

CONSULTANTS:



SEAL:

BID SET

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DOOR AND WINDOW DETAILS

SHEET TITLE:

PROJECT NO. 4247-09

47-09 A4.00

CIVIL CONSTRUCTION PLANS FOR:

NORTHGATE APARTMENTS

PREPARED FOR:

PANAMA CITY HOUSING AUTHORITY PANAMA CITY, FLORIDA





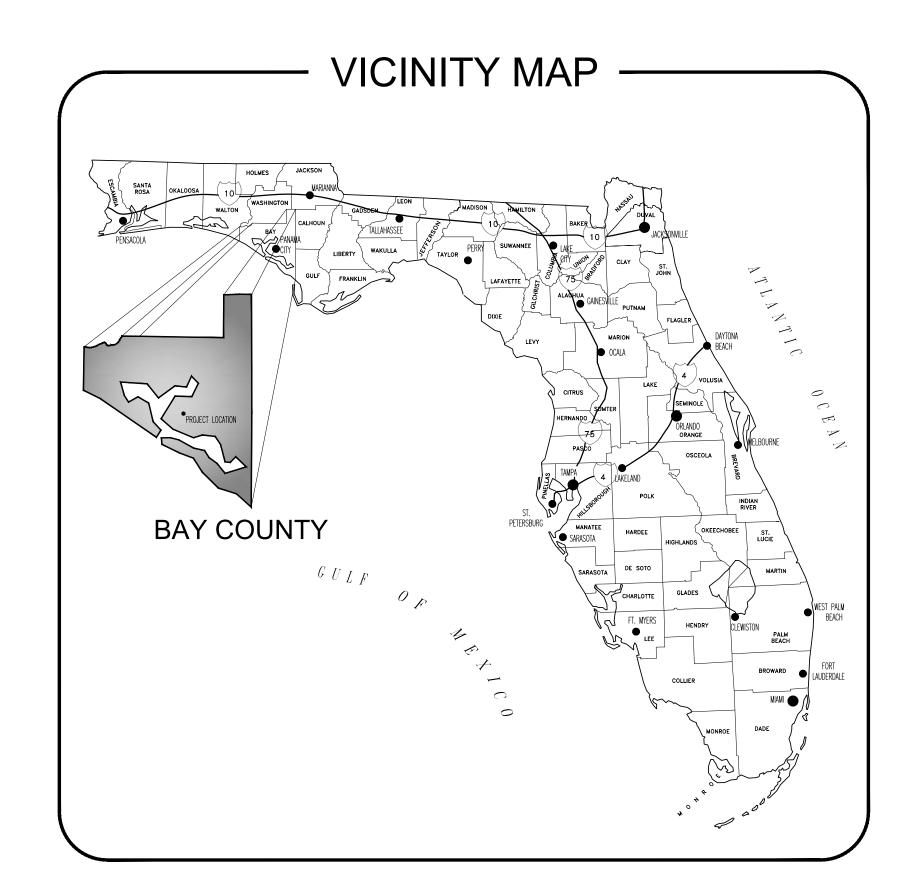
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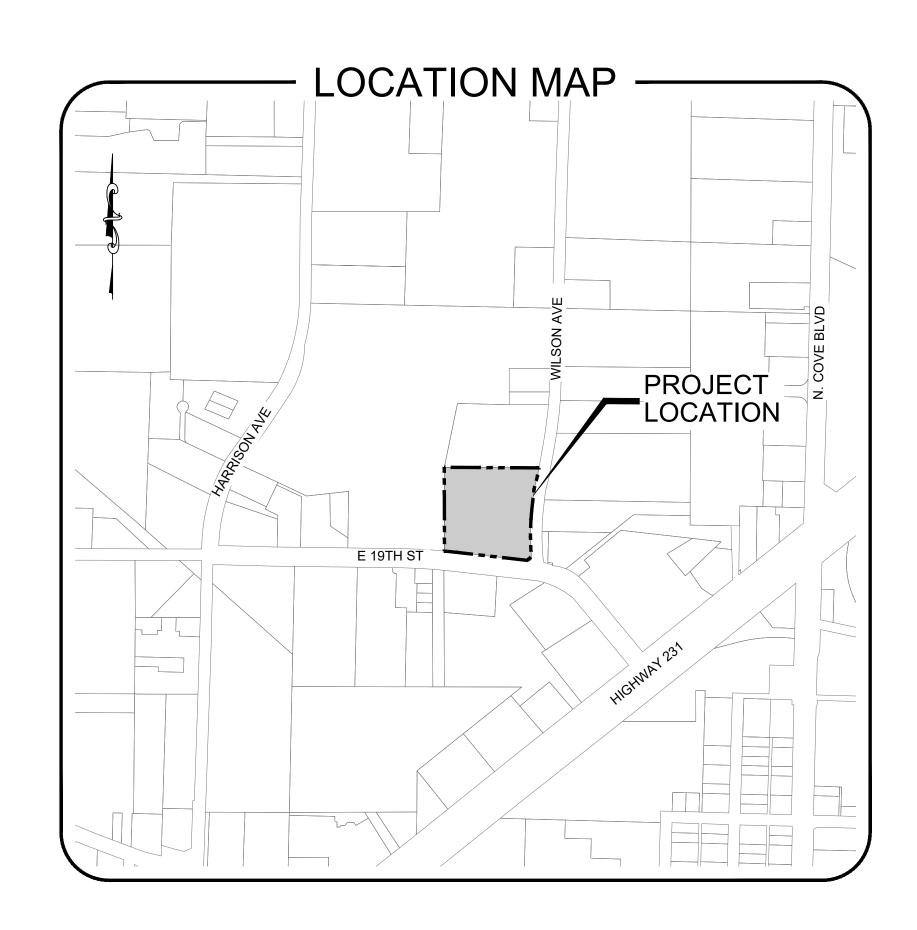
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NOT FOR CONSTRUCTION

PROJECT NUMBER - 50127729

JUNE 2020





<u>TITLE</u>	NO.
GENERAL NOTES	C1.00
SWPPP	C2.00
EXISTING CONDITIONS	C3.00
DEMO & EROSION CONTROL PLAN	C4.00
SITE PLAN	C5.00
GRADING PLAN	C6.00
MISC. DETAILS	C7.00

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GENERAL NOTES:

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH FDOT CURRENT YEAR DESIGN STANDARDS AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNLESS OTHERWISE STATED OR SHOWN IN THE PLANS.
- 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF PANAMA CITY STANDARDS AND SPECIFICATIONS, UNLESS APPROVED BY THE CITY OF PANAMA CITY.
- 3. WHERE THE FDOT DESIGN STANDARDS DIFFER FROM THE CITY OF PANAMA CITY STANDARDS, THE MORE STRINGENT STANDARD SHALL APPLY, UNLESS APPROVED BY THE CITY OF PANAMA CITY.
- 4. ALL PROPOSED GROUND ELEVATIONS ARE FINISHED SOD ELEVATIONS. FINISH EARTHWORK GRADING SHALL BE 0.2 FEET BELOW ELEVATIONS SHOWN TO ALLOW FOR
- 5. SODDING INCLUDES MAINTAINING SLOPES AND SOD UNTIL COMPLETION AND ACCEPTANCE OF TOTAL PROJECT OR GROWTH IS ESTABLISHED, WHICHEVER COMES
- LAST. UNTIL THEN, ALL EROSION, SILTATION AND MAINTENANCE OF GRADES IS THE RESPONSIBILITY OF THE CONTRACTOR. 6. WHERE EXCAVATIONS ARE IN CLOSE PROXIMITY OF TREES NOT SHOWN AS BEING REMOVED, THE CONTRACTOR SHALL USE EXTREME CARE IN NOT DAMAGING THE
- ROOT SYSTEM. NO EQUIPMENT, SUPPLIES, OR VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRIP LINE OF TREES TO REMAIN AND BE PRESERVED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL EMPLOYEES AND SUBCONTRACTORS OF THIS REQUIREMENT AND TO ENFORCE SAME. 7. THE CONTRACTOR SHALL NOTIFY UTILITY OWNERS THROUGH SUNSHINE STATE ONE CALL OF FLORIDA (800-432-4770) AT LEAST TWO (2) FULL BUSINESS DAYS IN
- ADVANCE OF BEGINNING CONSTRUCTION ON THE JOB SITE. THE CONTRACTOR SHALL WAIT THE REQUIRED TIME FOR BURIED UTILITIES TO BE LOCATED AND MARKED. THE CONTRACTOR SHALL PROTECT THE MARKS DURING CONSTRUCTION. IF THE MARKS ARE DESTROYED, THE CONTRACTOR SHALL CALL SUNSHINE STATE ONE CALL FLORIDA AGAIN. THE CONTRACTOR SHALL DIG SAFELY, USING EXTREME CAUTION, WHEN DIGGING WITHIN 36 INCHES ON EITHER SIDE OF THE MARKS TO AVOID HITTING THE BURIED UTILITY LINES.
- 8. PROPOSED CONSTRUCTION SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA), THE ADA COMPLIANCE HANDBOOK, LATEST EDITION, AND THE FLORIDA ACCESSIBILITY CODE. SIDEWALK CONSTRUCTION AND EXPANSION JOINT SPACING SHALL BE IN ACCORDANCE WITH FDOT DESIGN STANDARD INDEX 310.
- 9. ALL INLETS SHALL BE PROTECTED AS PER FDEP BEST MANAGEMENT PRACTICES, AND THE FDEP/FDOT EROSION AND SEDIMENT CONTROL HANDBOOK.
- 10. THE CONTRACTOR SHALL PROTECT ALL GRASSED AREAS FROM DISCARDED CONCRETE AND EXCESS MATERIALS. ALL DISCARDED CONCRETE AND EXCESS MATERIALS SHALL BE REMOVED FROM THE RIGHT-OF-WAY (OR JOB SITE) ON A DAILY BASIS.
- 11. THE CONTRACTOR IS TO MAINTAIN AND KEEP STREET NAME IDENTIFICATION (STREET SIGNS) VISIBLE DURING CONSTRUCTION OPERATIONS, IN ORDER TO FACILITATE EMERGENCY VEHICLE TRAFFIC.
- 12. THE CONTRACTOR SHALL NOT BRING ANY HAZARDOUS MATERIALS ONTO THE PROJECT. SHOULD THE CONTRACTOR REQUIRE SUCH MATERIALS FOR PERFORMING THE CONTRACTED WORK, THE CONTRACTOR SHALL REQUEST, IN WRITING, WRITTEN PERMISSION FROM THE ENGINEER. THE CONTRACTOR SHALL PROVIDE A COPY TO THE PROJECT ADMINISTRATOR. THE CONTRACTOR SHALL PROVIDE THE PROJECT ADMINISTRATOR WITH A COPY OF THE MATERIAL SAFETY DATA SHEET (MSDS) FOR EACH HAZARDOUS MATERIAL PROPOSED FOR USE. THE ENGINEER SHALL COORDINATE WITH THE PROJECT ADMINISTRATOR PRIOR TO ISSUING WRITTEN APPROVAL TO THE CONTRACTOR. SINCE STATE LAW DOES NOT TREAT PETROLEUM PRODUCTS THAT ARE PROPERLY CONTAINERIZED AND INTENDED FOR EQUIPMENT USE AS A HAZARDOUS MATERIAL, SUCH PRODUCTS DO NOT NEED A MSDS SUBMITTAL
- 13. ANY KNOWN OR SUSPECTED HAZARDOUS MATERIAL FOUND ON THE PROJECT SHALL IMMEDIATELY BE REPORTED TO THE ENGINEER WHO SHALL DIRECT THE CONTRACTOR TO PROTECT THE AREA OF KNOWN OR SUSPECTED CONTAMINATION FROM FURTHER ACCESS. THE ENGINEER IS TO NOTIFY THE PROJECT ADMINISTRATOR OF DISCOVERY. THE PROJECT ADMINISTRATOR WILL ARRANGE AN INVESTIGATION, IDENTIFICATION AND REMEDIATION OF THE HAZARDOUS MATERIAL. THE CONTRACTOR SHALL NOT RETURN TO THE AREA OF CONTAMINATION UNTIL APPROVAL IS PROVIDED BY THE ENGINEER. THE PROJECT ADMINISTRATOR WILL ADVISE THE ENGINEER.
- 14. THE CONTRACTOR SHALL DISPOSE OF ALL DEBRIS UPON COMPLETION OF THE PROJECT.
- 15. THE EROSION CONTROL PLAN SHALL BE IN ACCORDANCE WITH THE FDOT/FDEP EROSION & SEDIMENT CONTROL HANDBOOK.
- ALL FILL MATERIAL SHALL BE SELECT FILL AS DEFINED BY FDOT DESIGN STANDARD INDEX 505.
- 17. CONTRACTOR SHALL NOTIFY ALL ADJACENT PROPERTY OWNERS, IF THEIR LANDSCAPING IS TO BE REMOVED, TO COORDINATE THE REMOVAL AND POSSIBLE RELOCATION.
- 18. DEWATERING: SHOULD LOWERING OF GROUNDWATER BE NECESSARY FOR THE INSTALLATION OF CONCRETE STRUCTURES, OR TO PREVENT LATERAL MOVEMENT OF CONCRETE ALREADY PLACED, SUCH LOWERING SHALL BE ACCOMPLISHED BY MEANS OF A WELL POINT SYSTEM OR OTHER APPROVED MEANS, AT CONTRACTOR'S EXPENSE. COMPREHENSIVE PLANS FOR DEWATERING OPERATIONS, IF USED, SHALL BE SUBMITTED BY THE CONTRACTOR PRIOR TO INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING ASSOCIATED WITH DEWATERING
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING NPDES PERMIT.
- 20. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY METERS, VALVES, SERVICE LATERALS, FIRE HYDRANTS, MAINS, WATER, WASTEWATER, OR GAS FACILITIES DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST.
- 21. SWEEPING SHALL OCCUR DAILY OR IMMEDIATELY AFTER SUCH EVENTS THAT CAUSE TRACKING ONTO STREET.
- 22. ALL SIGNAGE IMPACTED BY CONSTRUCTION ACTIVITIES SHALL BE RELOCATED BY CONTRACTOR AT NO ADDITIONAL COST.
- 23. ANY SIGNS DAMAGED BY THE CONTRACTOR OR STOCKPILED BY THE CONTRACTOR THAT BECOME DAMAGED SHALL BE REPLACED.
- 24. ALL FINAL PROPOSED STRIPING AND MESSAGES SHALL BE THERMOPLASTIC. TEMPORARY STRIPING SHALL BE PAINT.
- 25. ALL PROPOSED INLETS SHALL HAVE 12" SUMP BOTTOMS, OPEN BOTTOMS SHALL NOT BE ALLOWED IN AREAS WHERE HIGH GROUNDWATER EXISTS.
- ALL MAILBOXES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE.
- 27. CONTRACTOR SHALL PROVIDE SIX (6) SETS OF AS-BUILT DRAWINGS AND ONE (1) DIGITAL COPY IN AUTOCAD FORMAT OF THE COMPLETED PROJECT. THE AS BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR.
- 28. PROPOSED FINISHED FLOOR ELEVATIONS SHALL BE AS SHOWN ON PLANS.
- 29. ALL DEMOLISHED MATERIALS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
- 30. ALL ABANDONED UTILITIES SHALL BE REMOVED FROM THE GROUND, NOT ABANDONED IN PLACE.

CONSTRUCTION SEQUENCE AND BMP'S

- THE INITIAL PART OF THE CONSTRUCTION PROCESS SHALL BE THE INSTALLATION OF SILT FENCE AROUND THE PERIMETER OF THE AREA THAT IS TO BE DISTURBED TO ENSURE NO TURBID RUNOFF LEAVES THE CONSTRUCTION SITE. THE SILT FENCE SHALL BE INSTALLED PER THE CONSTRUCTION DETAILS. IF THERE IS A POSSIBILITY OF RUNOFF TO A WATER BODY, TURBIDITY CURTAIN SHALL BE INSTALLED PER THE CONSTRUCTION DETAILS. THE SECOND STEP SHALL BE THE INSTALLATION OF THE CONSTRUCTION ENTRANCE AND DEMOLITION OF ANY EXISTING IMPROVEMENTS AS NEEDED (SEE DEMOLITION PLAN). THE THIRD STEP SHALL BE TO CLEAR AND GRUB AREAS WHERE IMPROVEMENTS ARE TO BE INSTALLED. AS FILL IS BROUGHT INTO THE SITE, THE STORM WATER BASIN SHOULD BE CREATED TO CAPTURE ANY OVERLAND FLOW AND ACT AS A SEDIMENT TRAP. IT IS RECOMMENDED THAT THE BASIN BE CONSTRUCTED APPROXIMATELY 1/2' HIGHER THAN DESIGN AT THIS POINT TO ENSURE ALL SILTS AND FINES ARE REMOVED AT THE TIME OF FINAL GRADING OF THE STORM WATER BASIN.
- TYPICALLY, THE SANITARY SEWER, STORM SEWER, AND WATER MAINS ARE INSTALLED RESPECTIVELY. UPON INSTALLATION OF THE STORM SEWER, HAY BALES AND FILTER FABRICS SHALL BE USED AT ALL INLET OPENINGS PER THE CONSTRUCTION DETAILS TO KEEP THE SYSTEM FREE OF SEDIMENTS DURING THE CONSTRUCTION PHASE. DEPENDING ON SITE CONDITIONS AND SIZE, SEDIMENT TRAPS SHALL BE UTILIZED TO PREVENT TURBID RUNOFF FROM LEAVING THE SITE (SEE EROSION CONTROL PLAN).
- SITE STABILIZATION SHALL BE PROVIDED AS SOON AS THE GRADING WILL ALLOW IN ORDER TO STOP EROSION AND REDUCE TURBID RUNOFF. SEEDING SODDING, OR HYDROSEEDING SHALL BE USED WHEN FINAL GRADES ARE ESTABLISHED.
- EROSION CONTROL MEASURES SHALL BE UTILIZED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT AND BE MANAGED IN ACCORDANCE WITH THE STATE NPDES PROGRAM.
- 5. THE DESIGN OF THE STORM WATER MANAGEMENT SYSTEM FOR THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT.

LICENSE #AAOOO2730

648 Florida Avenue Panama City, FL 32401 (850)-257-5400

CLIENT:



PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

NORTHGATE TERRACE II **IMPROVEMENTS** PROJECT 2020 1915 WILSON **AVENUE PANAMA** CITY, FL 32405 (850) 769-5278

Dewberry

J. MORGAN HURST, P.E. 60813 EB 0008794

DOCUMENTS

JUNE 2020

CHECKED:

M.HURST J.ODOM REVISION: DATE:

GENERAL NOTES

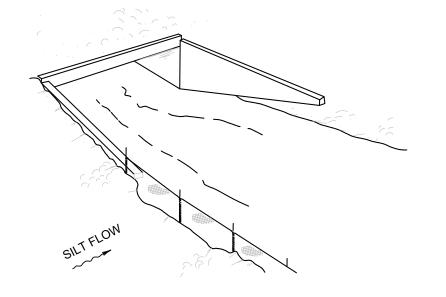
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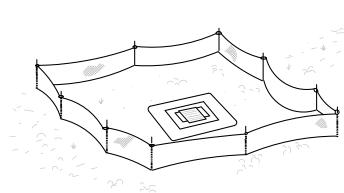
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TYPE III SILT FENCE

TYPE III SILT FENCE

ELEVATION



NOTE: SPACING FOR TYPE III FENCE TO BE IN ACCORDANCE WITH CHART 1. SHEET 1 OF 3 AND DITCH INSTALLATIONS AT DRAINAGE STRUCTURES SHEET 2 OF 3.

TYPE III SILT FENCE

DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER

PROTECTION AROUND DITCH

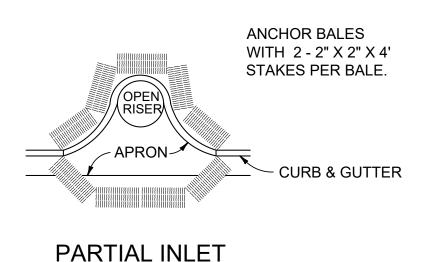
1) SILT FENCE SHALL BE USED/PLACED AT THE DIRECTION OF THE ENGINEER AND TO COMPLY WITH THE FDEP/NPDES PERMITTING

TYPE III SILT FENCE

BOTTOM INLETS.

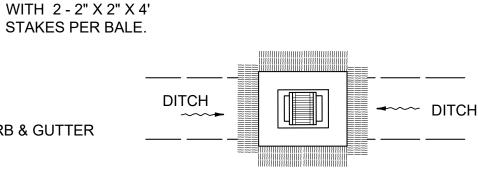
DETAIL SILT FENCE APPLICATIONS

SIDEWALK



CURB & GUTTER

ANCHOR BALES



COMPLETED INLET

DITCH BOTTOM INLET

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

EROSION AND SEDIMENT CONTROL NOTES:

1. CONTRACTOR SHALL STAGE AND TIME CONSTRUCTION TO MINIMIZE THE SIZE OF EXPOSED SOIL AREAS AND THE TIME BETWEEN EXPOSING THE SOIL AREA AND FINISHING THE SOIL AREA.

- 2. AS SOON AS GRADING IS COMPLETE IN AN AREA, THE CONTRACTOR WILL STABILIZE THE SOIL. FOR LONG, NARROW AREAS, THE CONTRACTOR SHALL STABILIZE CONTINUOUSLY DURING GRADING OPERATIONS. ROUGH GRADED AREAS SHOULD BE STABILIZED WITH TEMPORARY EROSION CONTROL IF FINAL GRADING AND STABILIZATION WILL NOT BE PERFORMED WITHIN FIVE (5) DAYS. FAILURE TO STABILIZE EXPOSED SOIL AREAS IN A TIMELY MANNER AFTER GRADING MAY BE CONSIDERED A VIOLATION OF CHAPTERS 62-3, 62-12, AND/OR 62/25, FLORIDA ADMINISTRATIVE CODE, BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND SUBJECT TO CORRECTIVE ACTION, PURSUANT TO SECTION 403.121-403.161 FLORIDA STATUTES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PERFORMING A TASK TO PROVIDE EROSION CONTROL UNLESS ANOTHER PARTY HAS BEEN PREVIOUSLY SPECIFIED AS RESPONSIBLE FOR THE EROSION CONTROL ASSOCIATED WITH THAT TASK. IN THE EVENT ANOTHER PARTY IS RESPONSIBLE FOR EROSION CONTROL, THE CONTRACTOR SHALL STILL BE RESPONSIBLE FOR COORDINATION WITH THE PARTY RESPONSIBLE. IN THE EVENT THAT DAMAGE TO THE CONSTRUCTED ITEM RESULTS ARE DUE TO LACK OF EROSION CONTROL. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ITEM AT NO CHARGE TO THE OWNER.
- TEMPORARY EROSION CONTROL SHALL CONSIST OF TEMPORARY GRASS, TEMPORARY MULCH, TEMPORARY SOD, ARTIFICIAL COVERINGS, BALED HAY OR STRAW, SILT FENCES, AND TURBIDITY BARRIERS. TEMPORARY EROSION CONTROL SHALL BE IN ACCORDANCE WITH SECTION 104 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS.
- PERMANENT EROSION CONTROL SHALL CONSIST OF SEED, SEED AND MULCH, HYDRO-SEEDING, SOD, AND/OR ARTIFICIAL COVERINGS. PERMANENT EROSION CONTROL SHALL BE IN ACCORDANCE WITH SECTIONS 570 AND 575 OF THE FDOT STANDARD SPECIFICATIONS. SEED OR GRASS TYPE SHALL MATCH EXISTING OR BE AS SPECIFIED BY OWNER UNLESS NOTED OTHERWISE.
- GRASS BY SEEDING SHALL BE IN ACCORDANCE WITH SECTIONS 104, 570, 981, 982, AND 983 OF FDOT STANDARD SPECIFICATIONS. THIS SHALL BE USED ONLY IN AREAS SUBJECT TO LIGHT EROSION SUCH AS FLAT AREAS.
- GRASS BY HYDRO-SEEDING SHALL BE IN ACCORDANCE WITH SECTIONS 104, 570, 981, 982, AND 983 OF FDOT STANDARD SPECIFICATIONS. HYDRO-SEEDING MAY BE USED FOR FLAT AREAS AND SIDE SLOPES WHICH DO NOT EXCEED 2:1. DRAINAGE DITCHES OR LARGE SWALES MUST HAVE ADDITIONAL PROTECTION BESIDES HYDRO-SEEDING.
- GRASS AND MULCH SHALL BE IN ACCORDANCE WITH SECTIONS 104, 570, 981, 982, AND 983 OF FDOT STANDARD SPECIFICATIONS. GRASS AND MULCH MAY BE USED IN ALL AREAS EXCEPT LARGE SWALES OR DITCHES. MULCH SHALL BE ANCHORED IN ACCORDANCE WITH SECTION 570.
- SOLID SOD SHALL BE IN ACCORDANCE WITH SECTIONS 104, 575, 981, 982, AND 983 OF FDOT STANDARD SPECIFICATIONS. SOD MAY BE USED IN ALL AREAS FOR SIDE SLOPES GREATER THAN OR EQUAL TO 2:1. SOD SHALL BE STAGGERED SO AS TO AVOID A CONTINUOUS SEAM. IN AREAS WITH SLOPES 4:1 OR STEEPER, EACH PIECE OF SOD SHALL BE PEGGED WITH SOD PEGS. IN DIFFICULT SOIL CONDITIONS WITH STEEP SLOPES, IT MAY NECESSARY TO COVER SOD WITH ARTIFICIAL COVERINGS SUCH AS JUTE MESH UNTIL SOD BECOMES ESTABLISHED.
- TEMPORARY EROSION CONTROL BY ARTIFICIAL COVERINGS SHALL CONSIST OF STRAW BLANKETS, COCONUT FIBER BLANKETS, POLYESTER BLANKETS, JUTE MESH, AND DRAINAGE FABRICS. MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SEEDING SHALL BE INCLUDED IF MATERIAL REQUIRES VEGETA-TION TO FUNCTION PROPERLY.
- THE CONTRACTOR IS TO PROVIDE EROSION CONTROL/ SEDIMENTATION BARRIER (HAY BALES, SILT FENCE, TURBIDITY BARRIER, OR AS SPECIFIED IN THE CON-STRUCTION DRAWINGS) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS, AND WETLAND OR JURISDICTIONAL AREAS. IF, IN THE OPINION OF THE ENGINEER, AND/OR REGULATORY AUTHORITIES, EXCESSIVE QUANTITIES OF MATERIAL ARE TRANSPORTED OFF-SITE BY EROSION OR STORMWATER RUNOFF, THE CONTRACTOR SHALL IMPROVE CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORIES. IN NO CASE SHALL CONSTRUCTION COMMENCE PRIOR TO INSTALLATION OF EROSION CONTROL/SEDIMENTATION BARRIER.
- 12. CONTRACTOR SHALL PLACE STRAW, MULCH, OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CON-STRUCTION-RELATED TRAFFIC IS TO ENTER AND EXIT SITE
- 13. IF WIND EROSION BECOMES SIGNIFICANT DURING CON-STRUCTION, THE CONTRACTOR SHALL STABILIZE THE AREA USING SPRINKLING IRRIGATION OR OTHER ACCEPTABLE METHODS.

STORMWATER POLLUTION PREVENTION PLAN:

SITE DESCRIPTION:

A. CONSTRUCTION ACTIVITY: PCHA NORTHGATE APARTMENTS PROJECT LIMITS: SEE SHEET C3

PROJECT DESCRIPTION: NEW PARKING LOT DESIGN AND SIDEWALK PATH AS ILLUSTRATED IN THIS SET OF PLANS

B. MAJOR SOIL DISTURBING ACTIVITIES: CLEARING AND GRUBBING OVER PROJECT LIMITS

TOTAL PROJECT AREA: 4.00 ACRES TOTAL SOIL AREA TO BE DISTURBED: 4.00 ACRES

C. (1) RUNOFF COEFFICIENTS BEFORE, DURING, AND AFTER CONSTRUCTION: BEFORE: 0.60, DURING: 0.64, AFTER: 0.68

D. (2) DESCRIPTION OF SOIL OR QUALITY OF DISCHARGE: N/A

FOR LOCATIONS OF DRAINAGE AREAS AND OUTFALLS: SEE PLANS

(1) NAME OF RECEIVING WATERS: ON SITE DEPRESSION SWALES E. (2) WETLAND AREA: NO DISTURBANCE TO WETLANDS ARE ANTICIPATED

NARRATIVE - SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS THE SOIL DISTURBING ACTIVITIES FOR THIS PROJECT ARE AS FOLLOWS: ONLY UPON PROPER PLACEMENT OF ALL EROSION CONTROLS CAN SOIL DISTURBING ACTIVITIES TAKE PLACE. HAY BALES AND SILT FENCE WILL BE USED LATERALLY AT SPECIFIED INTERVALS. HAY BALES SHALL BE USED TO PREVENT SEDIMENTATION FROM ESCAPING PROJECT LIMITS.

EROSION AND SEDIMENT CONTROLS: (1) STABILIZATION PRACTICES:

TEMPORARY SODDING A. X TEMPORARY GRASSING

X PERMANENT PLANTING, SODDING, OR SEEDING

TEMPORARY MULCHING ARTIFICIAL COVERING X BUFFER ZONES

X PRESERVATION OF NATURAL RESOURCES

(2) STRUCTURAL PRACTICES: SAND BAGGING

X SILT FENCES X HAY BALES

X DIVERSION, INTERCEPTOR, OR PERIMETER DITCHES PIPE SLOPE DRAINS FLUMES

ROCK BEDDING AT CONSTRUCTION EXIT TIMBER BEDDING AT CONSTRUCTION EXIT

DITCH LINER

SEDIMENT TRAPS SEDIMENT BASINS STORM INLET SEDIMENT TRAP (ROCK BAGS) STONE OUTLET STRUCTURES CURBS AND GUTTERS STORM SEWERS VELOCITY CONTROL DEVICES TURBIDITY BARRIER

B. DESCRIPTION OF STORMWATER MANAGEMENT: DEPRESSIONAL AREAS TO TREAT THE NEW SIDEWALK AT A 12:1 SLOPE OTHER CONTROLS:

(1) WASTE DISPOSAL: NO CONSTRUCTION WASTE MATERIAL WILL BE BURIED ON SITE (2) OFFSITE VEHICLE TRACKING:

HAUL ROADS DAMPENED FOR DUST CONTROL X LOADED HAUL TRUCKS TO BE COVERED WITH TARPAULIN

X EXCESS DIRT ON ROAD REMOVED DAILY STABILIZED CONSTRUCTION ENTRANCE

C. (3) SANITARY WASTE: N/A

(4) FERTILIZERS AND PESTICIDES: FERTILIZERS AND/OR PESTICIDES SHALL BE APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS BY A LICENSED OR CERTIFIED APPLICATOR AS DIRECTED BY THE PROJECT ENGINEER. (5) NON-STORMWATER DISCHARGE (INCLUDING SPILL REPORTING): NO NON-STORMWATER DISCHARGES ARE ANTICIPATED.

D. APPROVED STATE, LOCAL PLANS, OR STORMWATER PERMITS: FDEP GENERAL ERP PERMIT AND PANAMA CITY DEVELOPMENT ORDER.

ALL OF THE CONTROLS SHALL BE MAINTAINED AT ALL TIMES. IF A REPAIR IS NECESSARY, IT WILL BE DONE AT THE EARLIEST DATE POSSIBLE, BUT NO LATER THAN (7) CALENDAR DAYS AFTER THE SURROUNDING EXPOSED AREA HAS DRIED SUFFICIENTLY TO PREVENT FURTHER DAMAGE FROM HEAVY EQUIPMENT.

A. ALL CONTROLS SHALL BE INSPECTED WEEKLY BY THE CONTRACTOR AS WELL AS AFTER 0.50' OR MORE OF RAIN. AN INSPECTION AND MAINTENANCE REPORT WILL BE MADE PER EACH INSPECTION. BASED ON INSPECTION RESULTS THE CONTROLS SHALL BE REVISED PER THE INSPECTION REPORTS.

THE CONTRACTOR SHALL INITIATE REPAIRS WITHIN 24 HOURS OF INSPECTION THAT INDICATE ITEMS ARE NOT IN GOOD WORKING ORDER. TO COMPLY, THE CONTRACTOR SHALL INSTALL AND MAINTAIN RAIN GAGES AND DAILY RAINFALL RECORDS. WHERE SITES HAVE BEEN PERMANENTLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERYWEEK. THE CONTRACTOR SHALL ALSO INSPECT AND CERTIFY THAT CONTROLS INSTALLED IN THE FIELD AGREE WITH THE LATEST STORMWATER POLLUTION PREVENTION PLAN.

- IF INSPECTIONS INDICATE THAT THE INSTALLED STABILIZATION AND STRUCTURAL PRACTICES ARE NOT SUFFICIENT TO MINIMIZE EROSION, RETAIN SEDIMENT, AND PREVENT DISCHARGING POLLUTANTS, THE CONTRACTOR SHALL PROVIDE ADDITIONAL MEASURES, AS NEEDED.
- RECORDS OF THE INSPECTION AND THE CONSTRUCTION PERMIT MUST BE MAINTAINED AT THE CONSTRUCTION SITE AND BE READILY AVAILABLE FOR INSPECTION.
- THE DEVELOPER AND/OR CONTRATOR IS RESPONSIBLE FOR OBTAINING COVERAGE UNDER THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES PRIOR TO START OF CONSTRUCTION OR ANY DISTURBANCE OF LAND GREATER THAN ONE ACRE. THE DEVELOPER/CONTRACTOR WILL FORWARD A COPY OF THE PERMIT AND WILL PROVIDE 24 HOUR NOTIFICATION TO THE ENGINEERING DEPARTMENT AT FDEP PRIOR TO COMMENCEMENT OF WORK. ALL REQUIRED ELEMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION. FAILURE TO COMPLY COULD RESULT IN CODE ENFORCEMENT ACTION AND FINES.

648 Florida Avenue Panama City, FL 32401 (850)-257-5400

CLIENT



PANAMA CITY HOUSING **AUTHORITY** 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

NORTHGATE TERRACE II **IMPROVEMENTS** PROJECT 2020 1915 WILSON **AVENUE PANAMA** CITY, FL 32405 (850) 769-5278

CONSULTANTS:

Dewberry[®]

203 Aberdeen Pkwy, Panama City, FL 32405

EB 0008794 DOCUMENTS

J. MORGAN HURST, P.E. 60813

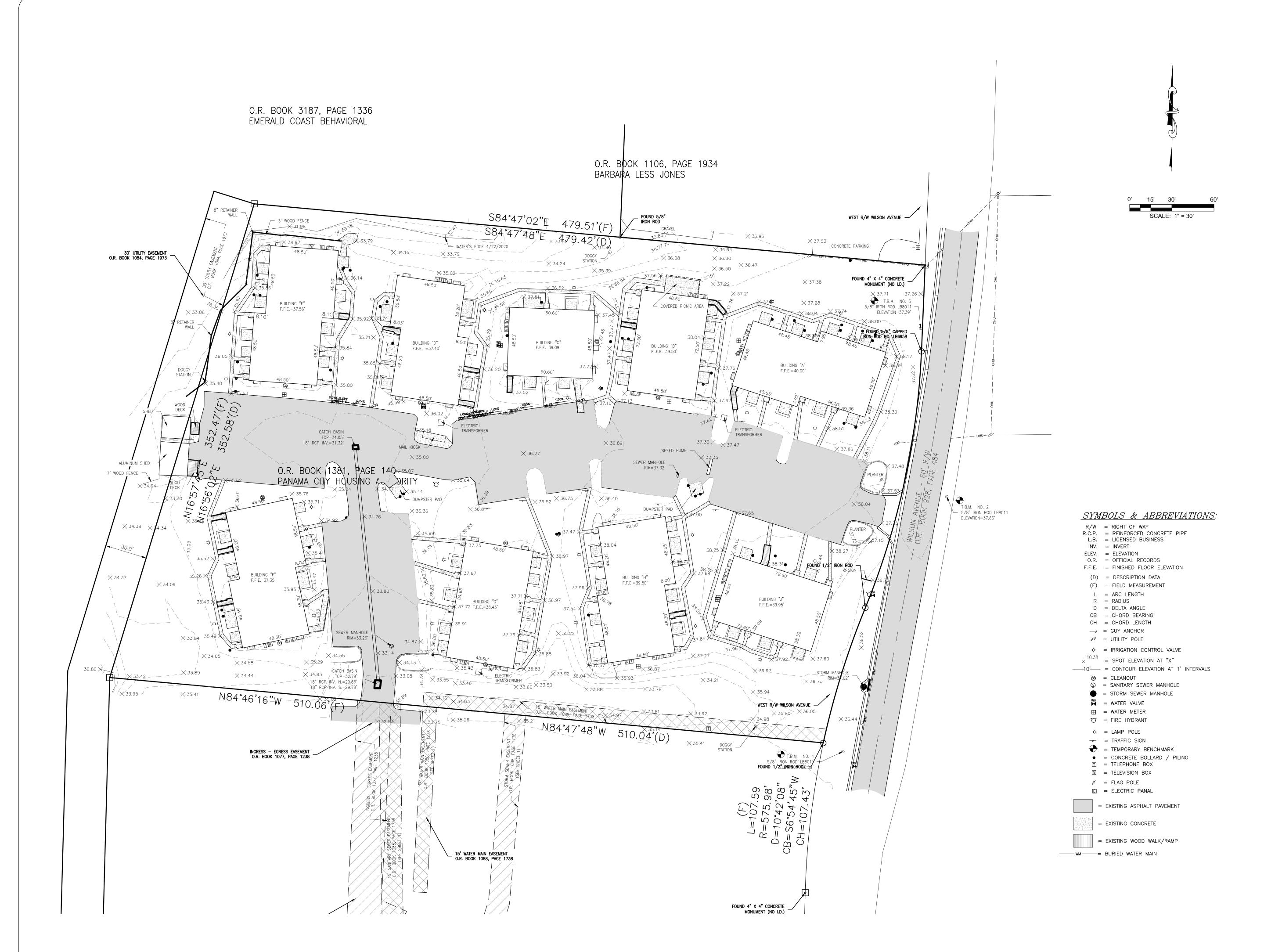
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C2.00





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EXISTING CONDITIONS

C3.00

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SHEET TITLE.

DEMO PLAN

50127729 SHEET C4.00



CLIENT:



PANAMA CITY
HOUSING
AUTHORITY
1918 MACK LEWIS
DRIVE
PANAMA CITY, FL
32401

PROJECT:

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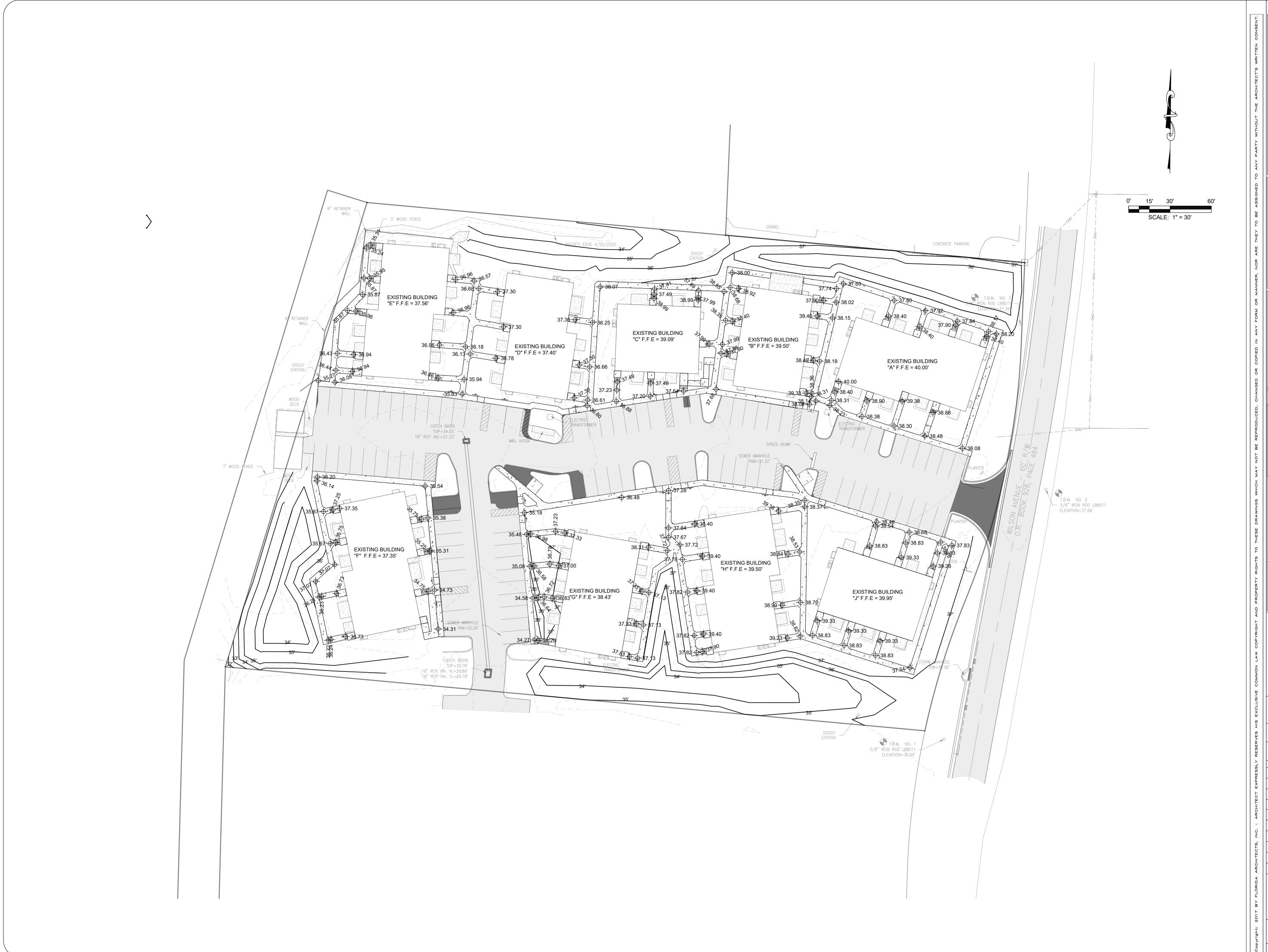
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SHEET TITLE:

C5.00

PROJECT NO. 50127729





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PANAMA CITY HOUSING AUTHORITY 1918 MACK LEWIS DRIVE PANAMA CITY, FL 32401

PROJECT:

NORTHGATE TERRACE II IMPROVEMENTS PROJECT 2020 1915 WILSON AVENUE PANAMA CITY, FL 32405 (850) 769-5278

CONSULTANTS:



J. MORGAN HURST, P.E. 60813 EB 0008794

DOCUMENTS JUNE 2020 DRAWN: CHECKED:

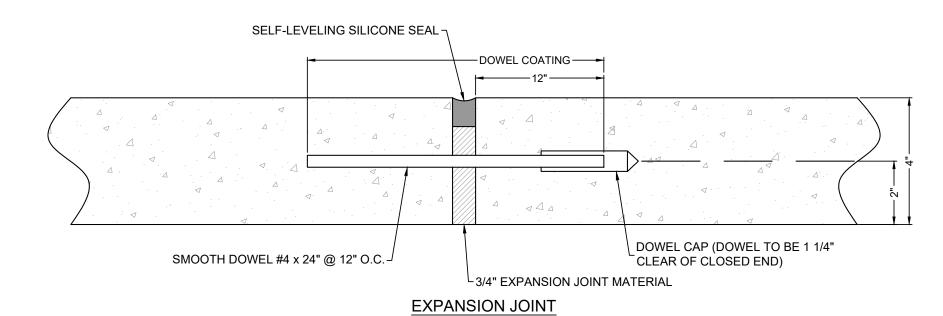
SCALE:

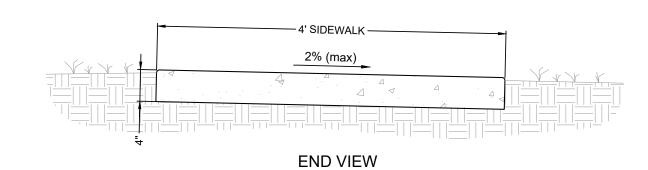
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	REVISION:		DATE:
	REPLACE SI	HEET	7/1/202

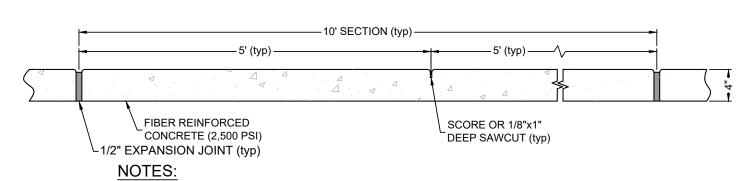
GRADING PLAN

C6.00

50127729

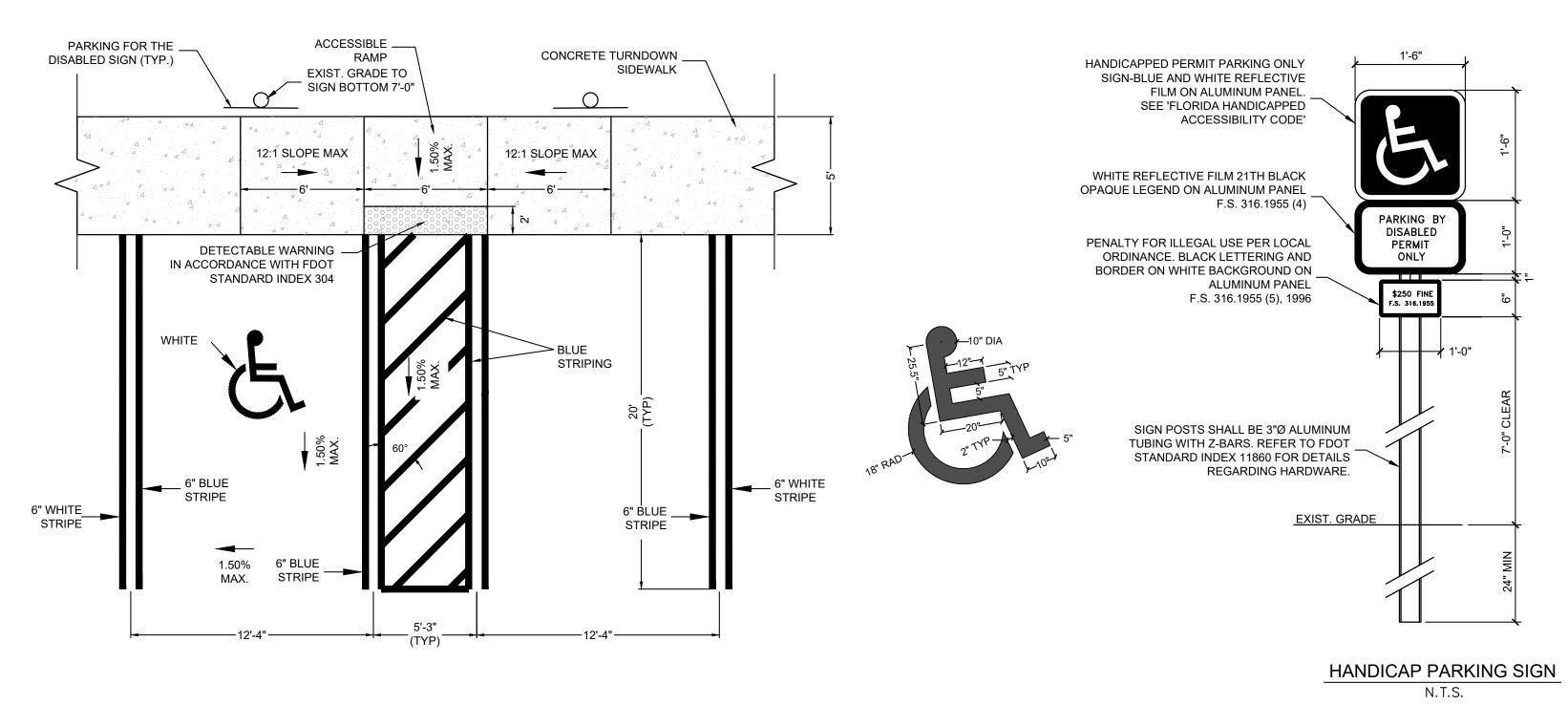






- 1. SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATION SECTION 522. 2. DETECTABLE WARNINGS SHALL CONFORM TO THE REQUIREMENTS IN FDOT INDEX NO. 304. 3. FOR TURNOUTS SEE FDOT INDEX. NO. 515
- 4. CONSTRUCT SIDEWALKS WITH A 1'-0" THICK EDGE BEAM THROUGH THE LIMITS OF ANY SURFACE MOUNTED PEDESTRIAN/BICYCLE PICKET RAILING OR PIPE GUIDERAIL SHOWN IN PLANS. 5. WHEN DRIVEWAYS ARE NEWLY CONSTRUCTED, RECONSTRUCTED, OR ALTERED, CROSS SLOPES FOR DISCONTINUOUS SIDEWALKS SHALL NOT EXCEED 2%.

DETAIL 4' CONCRETE SIDEWALK
SCALE: N.T.S.



NOTES:

- CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- 2. EACH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY," OR BEARING BOTH SUCH SYMBOL AND CAPTION. SUCH SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION.

TYPICAL STRIPING AND PARKING DIMENSIONS FOR PERPENDICULAR PARKING

LICENSE #AAOOO2730

648 Florida Avenue Panama City, FL 32401 (850)-257-5400

CLIENT:



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CONSULTANTS:

C7.00 50127729

TRIM EXIST. ASPHALT ► ASPHALT PAVEMENT TYPE "D" CURB DETAIL

Dewberry* 203 Aberdeen Pkwy, Panama City, FL 32405 (850) 522-0644 J. MORGAN HURST, P.E. 60813 EB 0008794 DOCUMENTS SCALE: JUNE 2020 JUNE 2020 DRAWN: CHECKED: J.ODOM M.HURST REVISION: MISC. DETAILS